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Planning Department

(517) 323-8560

AGENDA  
DELTA CHARTER TOWNSHIP PLANNING COMMISSION MEETING  
Monday, March 8, 2021, REGULAR MEETING  
6:00 P.M.

This hearing is being held remotely under the provisions of Michigan Open Meetings Act and in compliance with restrictions placed on indoor gatherings promulgated by the Michigan Department of Health & Human Services and the Barry-Eaton District Health Department due to COVID-19.

How to Connect:

Via the Web

Meeting URL: <https://us02web.zoom.us/j/85765206936?pwd=NXZ4bm8yd0tQVDYyRjh4cG03UjFKUT09>

Meeting ID: 857 6520 6936

Password: 078183

Via Phone

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For the hearing impaired, please call 711 to access the FCCs phone relaying service and provide one of the U.S. number call-in information above. **If you need assistance connecting, please contact the Planning Department via email at [planning@deltami.gov](mailto:planning@deltami.gov), or by phone at 517-323-8560.** Opportunities for public comment will be available to all meeting participants.

- I. CALL TO ORDER
- III. ROLL CALL
- IV. APPROVAL OF AGENDA
- V. APPROVAL OF MINUTES

- Minutes of the February 22, 2021 Planning Commission Meeting.

- VI. CITIZEN COMMENTS FOR ITEMS NOT ON THE AGENDA
- VII. CORRESPONDENCE
- VIII. OLD BUSINESS – None



IX. PUBLIC HEARINGS

- **Case No. 02-21-03:** Rezoning request from AG2, Agricultural/Residential & C, Commercial to RM, Multiple Family Residential, for a 44.49 acre parcel located in Section 9 of the Township, on the north side of Saginaw Highway and abutting the west side of a northerly extension of Marketplace Boulevard. Petitioner: West Lansing Retail Development III, LLC, 30300 Telegraph Road, Suite 280, Bingham Farms, MI 48025.
- **Case No. 02-21-04:** Proposed amendments to Section 11.01 C. 7. of the 2017 Delta Township Zoning Ordinance pertaining to Maximum Permitted Parking.

X. OTHER BUSINESS

- **Preliminary Site Plan Review:** JJ Freight Trucking School on Lots 25 & 26 in the Westland Park Industrial Subdivision in Section 34 of Delta Township. Project consists of a 6,276 square foot building on 4.79 acres, with associated truck and student parking. Applicant: JJ Freight, 5328 Mt. Hope Highway, Lansing, MI 48917.

XI. PLANNING DIRECTOR COMMENTS

XII. PLANNING COMMISSIONER COMMENTS

XIII. ADJOURNMENT

Individuals with disabilities attending Township meetings or hearings and requiring auxiliary aids or services should contact Township Manager and ADA Coordinator Brian T. Reed by email at [manager@deltami.gov](mailto:manager@deltami.gov) or calling (517) 323-8590 to inform him of the date of the meeting or hearing that will be attended.

**CHARTER TOWNSHIP OF DELTA PLANNING COMMISSION MINUTES OF  
FEBRUARY 22, 2021**

I CALL TO ORDER

Chairperson Meddaugh brought the meeting to order at 6:00 p.m.

II PLEDGE OF ALLEGIANCE

III ROLL CALL

Members Present: Proctor, Elsinga, Mudry, Kosinski, Bradley, Weinfeld Schweitzer, and Meddaugh. McConnell joined the meeting at 6:05 p.m.

Members Absent: None

Others Present: Planning Director Gary Bozek, Assistant Planning Director David Waligora, and Planner Matt McKernan

IV APPROVAL OF AGENDA

**MOTION BY SCHWEITZER, SECONDED BY BRADLEY, THAT THE  
AGENDA BE APPROVED AS SUBMITTED. VOICE VOTE. CARRIED 8-0.**

V APPROVAL OF MINUTES

- Minutes of the January 25, 2021 Planning Commission Meeting.
- Summary Record of Public Hearing for Case No. 1-21-1, Special Land Use Permit Request for a Home Occupation at 5650 Woodstock Drive. Petitioner proposes to operate an e-commerce business (assembling personalized gift bags & delivery via parcel services) out of the home. Petitioner: Danielle Keller, 5650 Woodstock Dr., Lansing, MI. 48917.

**MOTION BY SCHWEITZER, SECONDED BY KOSINSKI, THAT THE  
MINUTES OF THE JANUARY 25, 2021 PLANNING COMMISSION MEETING  
AND THE SUMMARY RECORD OF PUBLIC HEARING FOR CASE NO. 1-21-  
1, SPECIAL LAND USE PERMIT REQUEST FOR A HOME OCCUPATION AT  
5650 WOODSTOCK DRIVE. PETITIONER PROPOSES TO OPERATE AN E-  
COMMERCE BUSINESS (ASSEMBLING PERSONALIZED GIFT BAGS &  
DELIVERY VIA PARCEL SERVICES) OUT OF THE HOME. PETITIONER:  
DANIELLE KELLER, 5650 WOODSTOCK DR., LANSING, MI. 48917, BE  
APPROVED AS CORRECTED. VOICE VOTE. CARRIED 8-0.**

VI CITIZEN COMMENTS FOR ITEMS NOT ON THE AGENDA - None

**CHARTER TOWNSHIP OF DELTA PLANNING COMMISSION MINUTES OF  
FEBRUARY 22, 2021 - PAGE 2**

- VII CORRESPONDENCE – None
- VIII OLD BUSINESS – None
- IX PUBLIC HEARINGS - None
- X OTHER BUSINESS

**Preliminary Site Plan Review:** 86-unit multiple family residential development on 19.4 acres comprised of four parcels at 7725, 7805, 7819, 7831 West Willow Highway, in Section 9 of Delta Township, on the south side of Willow Highway, approximately 650 feet west of Canal Road. Applicant is Redwood Living, c/o Patricia Rakoci, 7007 East Pleasant Valley Road, Independence, OH. 44131.

Planner Matt McKernan provided the Commission with an overview by noting that the proposed development consisted of 86 units consisting of single-story apartments on 20 acres. The development is very similar to the project that was approved in 2015 on the west side of I-96. Mr. McKernan indicated that there was a large wetland on the property that would remain undisturbed. Sidewalks would be installed within the interior of the development on one side of the street. Mr. McKernan indicated that the site plan will need to be amended to include a sidewalk along Willow Highway and that all other Township requirements had been met. Mr. McKernan informed the Commission that the developer was in negotiations to purchase property located to the west of the subject parcel owned by Mr. Justice that would make it easier to extend public utilities. If the property is purchased by the developer, an internal staff review would be done if the Planning Commission approved the site plan this evening.

Mr. Schweitzer questioned if there was any type of an easement that would provide walkable access between this development and the development to the south.

Mr. McKernan noted that there was not an easement that would allow pedestrian access between the two developments.

Mr. Schweitzer said the reason why he asked the question was due to the fact that there was limited shoulder and that there were no sidewalks along Willow Highway other than right in front of the development.

Mr. Meddaugh said during the rezoning public hearing, there was discussion about providing additional landscaping or fencing to help screen the proposed development from the adjacent residential neighborhood.

Mr. McKernan indicated that the landscaping illustrated on the site plan met the regulations contained in the Zoning Ordinance. He noted that fencing or a landscaped buffer was not required between single family residential and multi-family residential.

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Mr. Schweitzer questioned if the issues raised regarding storm water drainage and wetlands had been addressed.

Mr. McKernan said he had not received an official response from the Drain Commissioner's office yet, but a detention pond would be provided in the southeast corner of the development. He said storm drainage would be improved from the existing conditions due to the fact that storm water was designed to drain into the detention pond and the wetlands.

Mr. Schweitzer felt there was a serious drainage problem at the northeast corner of Willow and Canal.

Planning Director Gary Bozek said the intent of the Drain Commissioner's Office has always been to improve a situation if they could, but this developer has to make sure they did not exacerbate a problem on adjacent properties. He noted that the developer is not necessarily responsible for correcting a situation on an adjacent property.

Mr. McConnell questioned if the subject parcel had any proximity to an existing non-motorized pathway system.

Mr. McKernan said there were plans for a non-motorized pathway on the adjacent parcel, but it was not shown on the site plan.

Mr. Bozek said the proposed development consisted of four separate single-family residences and that the Non-Motorized Transportation Plan did not envision crossing single family lots. The Township has been in talks with the Justice family, who owned the property located immediately west of the proposed development, about a connection across their property. Mr. Bozek noted that Mr. Justice had originally thought a roadway could be built out to Willow Highway to provide him access to his parcel from not only Canal, but from Willow as well. The strip of land between the proposed development and the expressway is encumbered by a restricted access from MDOT at Willow Highway and that MDOT would not permit a road to come out at that point. Mr. Bozek noted that the large detention pond that serves the subdivision to the south is also right in the middle of the strip of land and that the only use the property would be good for is for density purposes if Mr. Justice's property were developed, or for a pathway which is what the Township had envisioned. Mr. Bozek noted that the Non-Motorized Transportation Plan talked about east to west access across the freeway and a possible mid-section crossing at the half mile point. However, MDOT conducted a feasibility study for a similar project that determined that the cost to provide access across the freeway would be approximately \$23 million and suggested the Township look at crossings where there are existing bridges. Mr. Bozek said in this case, it would be the Willow Highway overpass when making modifications perhaps to not only the roadway for a shared use or bike lanes, but also modifying the bridge as well in order to obtain the crossing the Township desired. Mr. Bozek said the strip of land Mr. Justice owned is where the Non-Motorized Transportation Plan talks about a possible connection to the north.

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Patricia Rakoci, Representative from Redwood, said she was present this evening, as well as her colleagues, to answer any questions. Ms. Rakoci said she had read staff's recommendations and that they would comply with all of those recommendations. Ms. Rakoci looked forward to building another neighborhood in Delta Township.

**MOTION BY KOSINSKI, SECONDED BY MUDRY, THAT THE DELTA TOWNSHIP PLANNING COMMISSION APPROVE THE PRELIMINARY SITE PLANS FOR THE PROPOSED REDWOOD APARTMENTS, AS ILLUSTRATED ON SITE PLANS PREPARED BY BERGMANN AEP, AND DATED ON 1/22/21, SUBJECT TO THE FOLLOWING STIPULATIONS:**

- 1. THE APPLICANT SHALL CONTINUE TO COORDINATE WITH THE TOWNSHIP ENGINEER REGARDING THE PROVISION OF WATER AND SEWER UTILITIES TO THE PROPERTY. THE APPLICANT SHALL COMPLY WITH ANY REQUIREMENTS IMPOSED BY THE TOWNSHIP ENGINEERING AND UTILITY DEPARTMENTS.**
- 2. THE APPLICANT SHALL COMPLY WITH ANY REQUIREMENTS IMPOSED BY THE TOWNSHIP FIRE DEPARTMENT.**
- 3. ALL NECESSARY APPROVALS AND PERMITS SHALL BE OBTAINED FROM THE EATON COUNTY ROAD COMMISSION.**
- 4. FINAL APPROVAL OF THE STORM DRAINAGE PLAN SHALL BE OBTAINED FROM THE EATON COUNTY DRAIN COMMISSIONER'S OFFICE AND ANY APPLICABLE PERMITS OBTAINED.**
- 5. A REVISED SITE PLAN SHALL BE SUBMITTED INDICATING THAT SIDEWALK WILL BE INSTALLED ALONG THE WEST WILLOW HWY FRONTAGE.**
- 6. A LANDSCAPE AND SIDEWALK SURETY AGREEMENT SHALL BE EXECUTED WITH THE TOWNSHIP.**

**THE AFOREMENTIONED STIPULATIONS SHALL BE COMPLIED WITH PRIOR TO THE ZONING ADMINISTRATOR GRANTING FINAL APPROVAL OF THE SITE PLAN.**

**ROLL CALL VOTE. CARRIED 9-0.**

**Preliminary Site Plan Review:** 99,577 square foot retail building for a wholesale club, with gas station and tire center on 9.22 acres, on the west side of a proposed northeast extension of Marketplace Boulevard, approximately 260 feet north of Saginaw Highway, in Section 9 of Delta Township. Applicant is West Lansing Retail Development II, LLC, 30300 Telegraph Road, Suite 280, Bingham Farms, MI. 48025.

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Assistant Planning Director Dave Waligora said the site plan was for BJ's Wholesale clubhouse grocery store which was very similar to Costco or Sam's Club. He informed the Commission that the applicant received a Special Land Use Permit last month for a fuel station. The site plans this evening illustrates a fuel station, a 99,577 square foot commercial building, an extension of Marketplace Boulevard, a new roundabout intersection, and an extension of Carlson Road out to Broadbent Road. Mr. Waligora indicated that the applicant is working with MDOT on omitting the construction of Carlson Road from this phase of development. Mr. Waligora indicated that the staff report brought up a couple of items in regard to traffic and connectivity which staff felt would make the project more complete. Mr. Waligora noted that the first item was a connection through the Culvers restaurant parking lot that was illustrated on the site plan. However, this connection would occur during a later phase of development. Mr. Waligora noted that staff was making the argument that the connection should be made now because it provided instant connectivity from both Phase I and II of Delta Crossings. Staff is also recommending the Planning Commission discuss a connection to Carlson Road. Mr. Waligora noted that the staff report argues that making this more of a complete roadway with landscaping and pedestrian facilities would be an important connection when Saginaw Highway is under reconstruction in 2026.

Mr. Waligora noted that the applicant provided a Traffic Study for their entire proposed development and that MDOT was reviewing an updated version of the study that would remove the extension of Carlson Road in Phase II. However, Mr. Waligora did not know if discussions had taken place about the reconstruction of Saginaw Highway. It was staff's opinion that planning ahead now during Phase II of the development could provide additional relief for traffic areas in this commercial development. Mr. Waligora noted that staff had not received comments yet from the Township's Engineering and Utility Departments, or the Eaton County Drain Commissioner's Office and Road Commission. All other Township regulations pertaining to landscaping and lighting had been meant.

Mr. Mudry inquired about the connector road out to Broadbent Road.

Mr. Waligora said it was his understanding that the developer does not want to provide a connector road to Broadbent Road during this phase of development and that they would provide a connector road during Phase III. He noted that the developer submitted a rezoning application that would come before the Planning Commission in the near future. Mr. Waligora felt it was difficult to provide a guaranteed timeline for development so he was always of the opinion that if you can make it work now, that is what the Township should strive for.

Mr. Mudry said he was concerned with only having one access point for a retailer such as a wholesale grocery store.

Mr. Waligora noted that he had provided the Planning Commission with an article that talked about suburban traffic issues that a lack of secondary access. Mr. Waligora said without Carlson Road, everything would be funneled to Saginaw Highway where there was already a public opinion that this area of Saginaw Highway is congested. Mr.

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Waligora indicated that the Township had little authority over the roads in the Township, but they did have the ability to discuss traffic concerns.

Mr. Kosinski said he had been receiving a lot of comments from people who had serious concerns with the traffic in this area of Saginaw Highway and given the nature of Phase II of the development, those concerns would increase. Mr. Kosinski questioned if the extension of Marketplace Boulevard and Carlson Road would be contingent upon, or at least anticipated to be, a major source of discussion with the CIA (Corridor Improvement Authority).

Mr. Schweitzer said he would like to see Carlson Road extended at this point in time because the two phases of development would be completed. He felt there should be a smooth alternative route in order to relieve some of the congestion other than Saginaw Highway.

Mr. Waligora said he agreed, but the Commission could not mandate that as part of site plan review. If the site plan did not alleviate the Commission's concerns with traffic, they did not have to approve the site plan.

Mr. Bozek said the Commission had been presented with a site plan that illustrated the Carlson Road extension and the extension of Marketplace Boulevard to the roundabout. The Commission could approve the site plan as presented and that any deviation from the plan would have to come back before the Planning Commission for further discussion. Mr. Bozek said the Commission could also table the site plan this evening until a formal response from MDOT is received. In response to Mr. Kosinski's question, Mr. Bozek noted that the CIA is a process that would involve a development plan for this area of the Township and the Commission would still be faced with the same kind of decision in terms of the Commission being presented with a review of that particular phase and uses as they related to the Zoning Ordinance.

Mr. Kosinski said the reason why he asked the question was because in the presentations on the CIA and the development plan, one of the major points of discussion was means to make development of infrastructure to include surface transportation as part of that process.

Mr. Weinfeld noted that he was confused as to why this phase of development was before the Commission when the developer had indicated at previous meetings that Phase II and III would not happen without the tax incentives to recoup infrastructure costs.

Mr. Bozek said the developer was asking to rezone approximately 45 acres to accommodate multi-family residential in a future request to come before the Commission.

Mr. Meddaugh said if the Commission approved the site plan this evening, it did not necessarily mean that construction had to begin.



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Mr. Bozek said that was correct and that site plan approval was valid for two years.

Mr. Weinfeld felt we were putting the cart before the horse. Mr. Weinfeld said it made sense to him that the developer was prepared to move ahead regardless, but he questioned what the strategy is. He questioned if the developer was trying to put in front of the public and Township Board and Commissions the future of this development to press for a CIA TIF,

Mr. Kosinski noted that if Phase II and III are built and some sort of incentive was not forthcoming involving the roads, he questioned whether there would be a situation where the development would operate with a single access point on Saginaw Highway.

Kris Krstovski, K2 Retail Construction and Development, 30300 Telegraph Road, Suite 280, Bingham Farms, Michigan 48025, informed the Commission that a very extensive traffic study was provided to MDOT that implemented the entire 200-acre development. Mr. Krstovski indicated that they applied for the CIA because of public roads and infrastructure, but it did not require Carlson Road to be extended at this time based on the amount of retail and traffic counts. Phase III, which consists of the multi-family, would necessitate the extension of Carlson Road. Mr. Krstovski noted that they had said multiple times that the need for the CIA was to complete the entire development more quickly and if they did not receive the CIA, the project would take longer to complete. He indicated that with a development of this size and fluctuations with the economy, they wanted to move forward with Phase II and III with the leap of faith that the CIA is going to be approved in the near future. Mr. Krstovski explained that they were on a stringent time frame with retailers to move forward and that his company was carrying the burden for all the infrastructure at the present time.

Mr. Krstovski said he is aware that this section of Saginaw Highway is a dangerous section of road which is why their development prompted MDOT to proceed with a boulevard section. Mr. Krstovski explained why they took the initiative to submit a rezoning application for the multi-family portion of their development and that Phase II is all they could develop without extending Carlson Road. Mr. Krstovski noted that the Saginaw/I-96 corridor was a big draw for Delta Township and due to the fact that they had two national chains that wanted to move to Michigan and locate their development, they had no other choice but to move forward because they did not want to lose those retailers. Phase III would include two additional national retailers and the multi-family development.

Mr. Weinfeld appreciated the clarification Mr. Krstovski provided as to why they wanted to move ahead with their development.

Ms. Bradley questioned what would happen if the CIA were not approved.

Mr. Krstovski noted that if the CIA were not approved, it would be a longer process of developing the site. He noted that they did not have it in their budgets anymore, nor did retailers or potential land buyers, to pay the kind of costs they would have to pay in order to be in Delta Township without the assistance to pay back the public roads and

**CHARTER TOWNSHIP OF DELTA PLANNING COMMISSION MINUTES OF  
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infrastructure. Mr. Krstovski said this is why they had to offset those costs by working and partnering with the Township to put a program in place like a CIA. He noted that a CIA is a self-imposed TIF and that they were willing to do passthroughs where the Township and all other taxing jurisdictions are going to collect a tax on the new development. Mr. Krstovski indicated that every taxing jurisdiction will be collecting a 20% to 25% passthrough than they are currently collecting on the property.

Mr. Schweitzer questioned if the extension of Carlson Road would be done during a later phase of development.

Mr. Krstovski said the extension of Carlson Road would be done during Phase III of the development which includes the multi-family and additional retail to the north of Phase I. He noted that Phase II could not absorb the cost of extending Marketplace Boulevard, a roundabout, and the extension of Carlson Road.

Mr. Bozek said staff has yet to receive any official word from MDOT regarding the status of Carlson Road. He said if the consensus of the Commission were to proceed with approval of the site plan this evening, it should be contingent on a stipulation that the elimination of Carlson Road was subject to MDOT approval.

Thom Dumond, PEA Incorporated, Project Manager for the project, 4927 Nemco Way, Suite 115, Brighton, Michigan 48116, informed the Commission that he had spoken to Larry Thelen with MDOT last week and was informed that MDOT had not started their review of the traffic study and that it would be at least another week before they would be able to review it in detail. Mr. Dumond stated that one of the reasons why they included the Carlson Road extension on the site plan was that it would allow them to move forward with the extension of Carlson Road without being held up prior to receiving approvals on the rest of Phase III.

Mr. Bozek wanted to clarify that the extension of Marketplace Boulevard and Carlson Road were subject to the review and approval of the Eaton County Road Commission. He noted that those projects could proceed under the auspicious of the Road Commission.

Mr. Waligora brought the Commission's attention to a list of discussion points he had included in his staff report. He noted that the site plan illustrated a connection with the Culver's restaurant and the proposed BJ's site during a later phase of development and that it was staff's opinion that that connection should be made now. The connection would allow a secondary access to Broadbent Road by connecting all of the existing infrastructure and commercial areas at the northeast corner of Saginaw and Broadbent to Delta Crossings. Mr. Waligora said the site plan this evening illustrates three outlots adjacent to Saginaw Highway where there is more of an obvious connection. By requiring the connection to Culvers happens now, the whole corner would be somewhat instantaneously connected.

Mr. Krstovski indicated that there were existing access points to the north and east of Culvers that they would tie into when they develop Phase II roadways.

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Mr. Waligora said the site plan should be amended to reflect that the developer intends to make that connection now.

Mr. Krstovski said they understood that.

Mr. Waligora said in regard to the need for vehicle and non-motorized connection from the BJ's site to Carlson Road, he noted that even if Carlson Road is extended during Phase II, he felt a connection from the BJ's site to Carlson Road was important. He felt the connection should be illustrated on the site plan because of the proximity of multi-family residential, non-motorized pedestrian facilities should be extended as a secondary access to Saginaw Highway.

Mr. Krstovski said they agreed.

It was noted that the need for the extension of Carlson Drive to help alleviate traffic in the corridor would be done in Phase III.

Mr. Waligora said in regard to the need for Planning Commission review of a Master Site Plan, he felt it would be helpful to obtain the Planning Commission's perspective on the entire development rather than piece by piece. Mr. Waligora felt this would also help streamline the process if the Commission were more familiar with the entire site as opposed to trying to explain how each piece connected to the overall plan.

Mr. Krstovski said they agreed.

Mr. Waligora said in regard to the need for a pedestrian crossing to the Phase I sidewalk, he felt a mid-block pedestrian crossing in the location of the private road that ran north of the auto sales facility would be appropriate.

Mr. Dumond stated that they would be willing to add a pedestrian crossing, but they would need approval from the Eaton County Road Commission for whatever they did.

There was a brief discussion in regard to an overhead crosswalk over Saginaw Highway for pedestrian crossing.

Ms. Bradley asked Mr. Bozek to restate the stipulation that could be included to address some of these issues.

Mr. Bozek said site plan approval could be granted with the stipulation that Carlson Road be extended at a time determined by MDOT either in this phase or a future phase.

Mr. Weinfeld asked if the items contained in the staff report regarding landscaping would take care of any concerns staff had.

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Mr. Waligora said approval this evening would be contingent upon the applicant meeting all Zoning Ordinance requirements.

**MOTION BY BRADLEY, SECONDED BY ELSINGA, THAT THE DELTA TOWNSHIP PLANNING COMMISSION APPROVE THE PRELIMINARY SITE PLANS FOR THE PROPOSED DELTA CROSSINGS PHASE 2, AS ILLUSTRATED ON SITE PLANS PREPARED BY PEA., DATED ON 01/21/2021, SUBJECT TO THE FOLLOWING STIPULATIONS:**

- 1. THE APPLICANT MUST MEET ALL CONDITIONS OF THE EATON COUNTY ROAD COMMISSION.**
- 2. THE APPLICANT MUST MEET ALL CONDITIONS OF THE EATON COUNTY DRAIN COMMISSIONER.**
- 3. THE APPLICANT MUST MEET ALL CONDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION.**
- 4. THE APPLICANT MUST MEET ALL CONDITIONS OF THE TOWNSHIP ENGINEER, TOWNSHIP UTILITY DEPARTMENT, AND FIRE DEPARTMENT.**
- 5. THE APPLICANT MUST RESUBMIT FOR FINAL APPROVAL WITH AN UPDATED SITE PLAN AND LANDSCAPING PLAN MEETING ALL STIPULATIONS OF THE PLANNING DEPARTMENT AND ZONING ORDINANCE.**
- 6. THE APPLICANT MUST PROVIDE A LANDSCAPING SURETY AGREEMENT FOR INSTALLATION OF ALL PARKING LOT AND GREEN BELT LANDSCAPING IF THEY PLAN TO OCCUPY THE BUILDING PRIOR TO INSTALLATION OF REQUIRED PLANTINGS.**
- 7. ANY ADDITIONAL STIPULATIONS OF THE PLANNING COMMISSION DETERMINED DURING DISCUSSION. FURTHER AGREED TO CONDITIONS BY THE DEVELOPER DURING DISCUSSION INCLUDE:**
  - a. A CONNECTION TO THE CULVER'S SITE AT THE TIME BJ'S IS CONSTRUCTED.**
  - b. A NONMOTORIZED CONNECTION FROM THE BJ'S SITE TO THE FUTURE CARLSON ROAD WHEN CONSTRUCTED.**
  - c. A PEDESTRIAN CONNECTION TO THE DELTA CROSSINGS – PHASE 1 SIDEWALK.**
- 8. PERMISSION FROM THE MICHIGAN DEPARTMENT OF TRANSPORTATION TO DELAY THE CONSTRUCTION OF CARLSON ROAD UNTIL DELTA CROSSINGS – PHASE 3 IN 2022.**

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**ROLL VOTE. CARRIED 8-1 (SCHWEITZER).**

**XII PLANNING DIRECTOR COMMENTS**

Mr. Bozek referenced his General Information Memo that outlined Township and staff activities and answered questions regarding proposed Zoning Ordinance amendments that would be coming before the Commission for their review.

**XII PLANNING COMMISSIONER COMMENTS**

Mr. McConnell said he had often raised questions regarding non-motorized pathways and given that the Township had a Non-Motorized Transportation Plan, he questioned if it was possible for the Commission to comment on the non-motorized pathway relevance during site plan reviews so that it automatically made a connection.

Mr. Bozek said staff could include that as a component of site plan review and in certain cases, staff could provide the Township's Non-Motorized Transportation Map as it related to a particular development.

**XIII ADJOURNMENT**

**MOTION BY WEINFELD, SECONDED BY MCCONNELL, THAT THE  
MEETING BE ADJOURNED. VOICE VOTE. CARRIED 9-0.**

Chairperson Meddaugh adjourned the meeting at 7:23 p.m.

Respectfully Submitted,

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Arnold Weinfeld, Secretary

**DELTA CHARTER TOWNSHIP PLANNING DEPARTMENT  
REZONING STAFF REPORT**

PREPARED BY: Gary Bozek, Planning Director

CASE NUMBER: 02-21-03

DATE: March 4, 2021

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**GENERAL INFORMATION**

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**APPLICANT:** West Lansing Retail Development III, LLC  
30300 Telegraph Road, Suite 280  
Bingham Farms, MI 48025

**APPLICANT'S STATUS:** Purchaser/Developer

**OWNER:** Unified Group, LLC  
6250 West Michigan Avenue  
Lansing, MI 48917

**REQUESTED ACTION:** Rezoning from AG2, Agricultural/Residential & C, Commercial to RM, Multiple Family Residential.

**GENERAL LOCATION:** A 44.49 – acre parcel of land located in Section 9 of the Township, on the north side of Saginaw Highway and abutting the west side of a northerly extension of Marketplace Boulevard.

**LEGAL DESCRIPTION:** A parcel of land being part of the Southwest 1/4 of Section 9, Town 04 North, Range 03 West, Charter Township of Delta, Eaton County, Michigan; more particularly described as: Commencing at the South 1/4 Corner of said Section 9; thence South 89 degrees 38 minutes 43 seconds West, along the South Line of Section 9, 868.56 feet; thence North 00 degrees 18 minutes 10 seconds West, 1012.14 feet to the Point of Beginning; thence continuing North 00 degrees 18 minutes 10 seconds West, 22.98 feet; thence South 89 degrees 41 minutes 50 seconds West, 207.50 feet; thence South 67 degrees 11 minutes 50 seconds West, 44.42 feet; thence South 89 degrees 41 minutes 50 seconds West, 847.32 feet; thence North 00 degrees 07 minutes 24 seconds West, 1617.55 feet; thence North 89 degrees 34 minutes 57 seconds East, 1485.95 feet; thence 176.90 along a tangential curve to right, with a radius on 450.00 feet, a central angle of 22 degrees 31 minutes 24 seconds, and a chord that bears South 28 degrees 26 minutes 08 seconds West, 175.76 feet; thence South 39 degrees 41 minutes 50 seconds West, 241.70 feet; thence 314.16 along a tangential curve to left, with a radius on 450.00 feet, a central angle of 40 degrees 00 minutes 00 seconds, and a chord that bears South 19 degrees 41 minutes 50 seconds West, 307.82 feet; thence South 00 degrees 18 minutes 10 seconds East, 997.99 feet; thence South 89 degrees 41 minutes 50 seconds West, 50.00 feet returning to the Point of Beginning of this Parcel Description. Containing 44.49 acres of land and subject to easements and restrictions of record or otherwise.

**EXISTING ZONING:** AG2, Agricultural Residential & C, Commercial.

**EXISTING LAND USE:** Vacant/Undeveloped

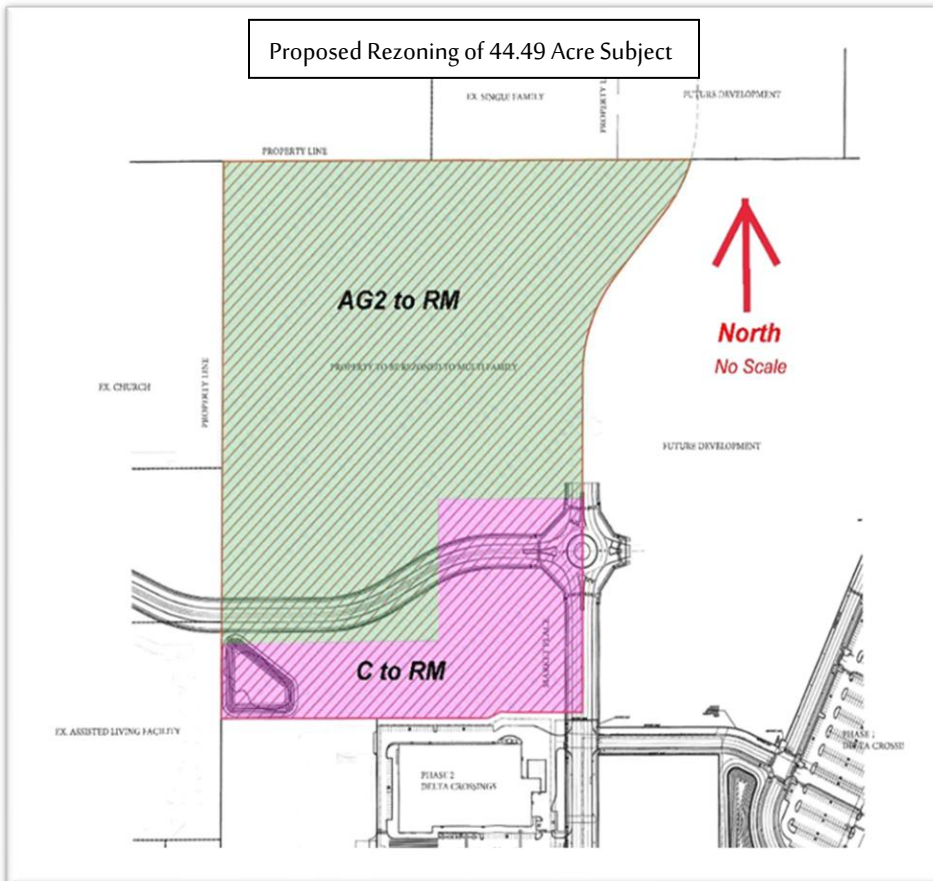
**ADJACENT ZONING:**

N	RB, Low Density Residential & AG2, Agricultural/Residential
E	C, Commercial & AG2, Agricultural/Residential
W	C, Commercial & AG2, Agricultural/Residential
S	C, Commercial

**ADJACENT USES:**

N	Village at Shadow Glen Condominiums (Single-Family Detached Site Condos)
E	Undeveloped
W	Regency at Lansing Skilled Nursing Facility, Undeveloped, River's Edge Community Church
S	Future BJ's Wholesale Club (Currently Under Review)

**PROJECT DESCRIPTION:**



The Township is in receipt of an application submitted by West Lansing Retail Development III, LLC (aka K2 – Brookside Crossings) to rezone 44.49 acres in Section 9 of the Township from C, Commercial, and AG2, Agricultural/Residential, to RM, Multiple Family Residential, in order to accommodate a proposed Phase 3 of the Brookside Crossing Development (see inset left).

A specific development plan for Phase 3 has not yet been provided. In early discussions with the Township, the developer provided a “Master Site Plan” illustrating an overall development concept of the 200 acres under their consideration. Staff has provided a zoning overlay on this preliminary concept drawing (see p.3, shaded in red) illustrating the area that is the subject to this rezoning request.



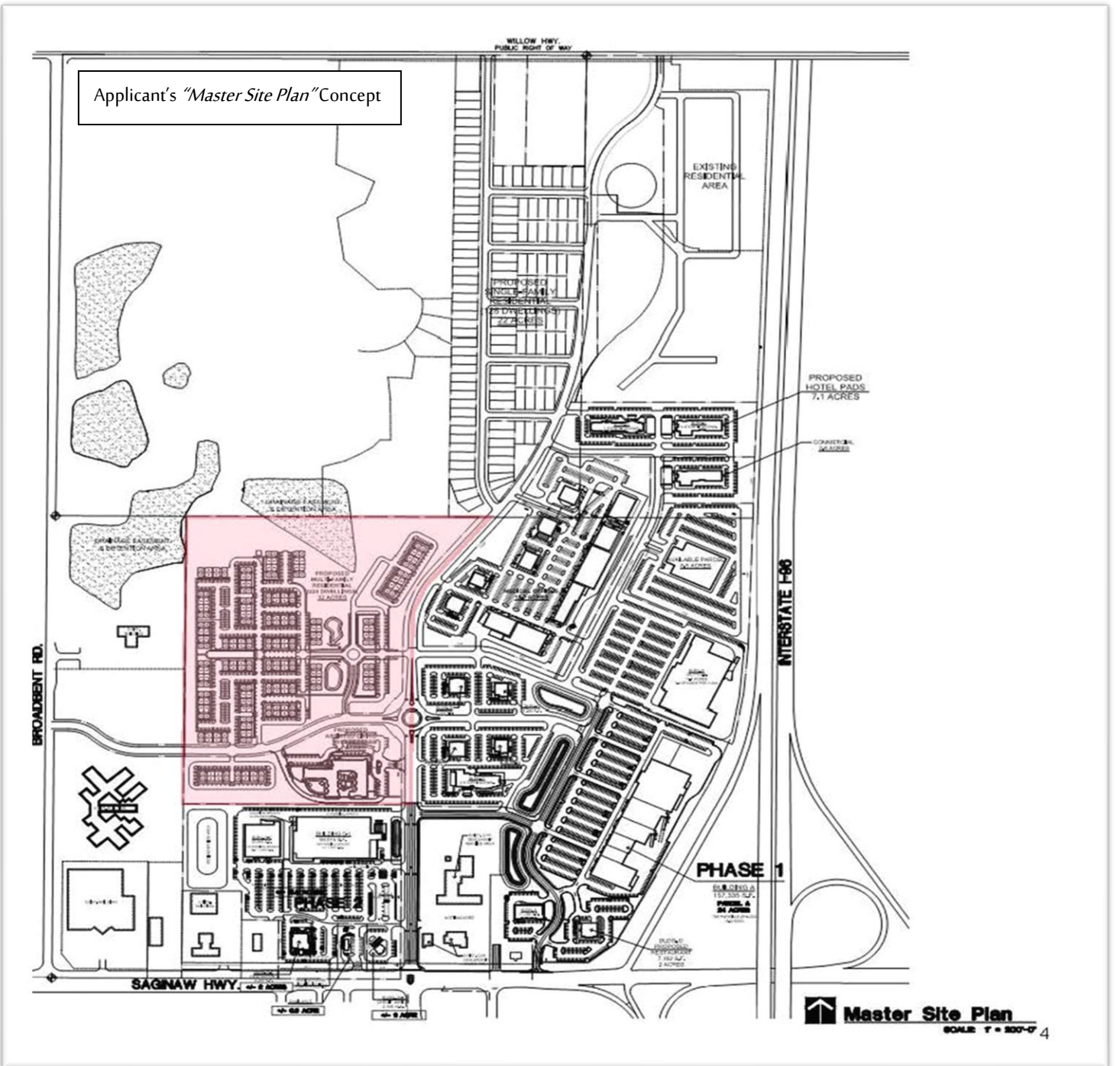
West Lansing Retail Development III, LLC Rezoning Request Staff Report

Case No. 02-21-03

March 4, 2021

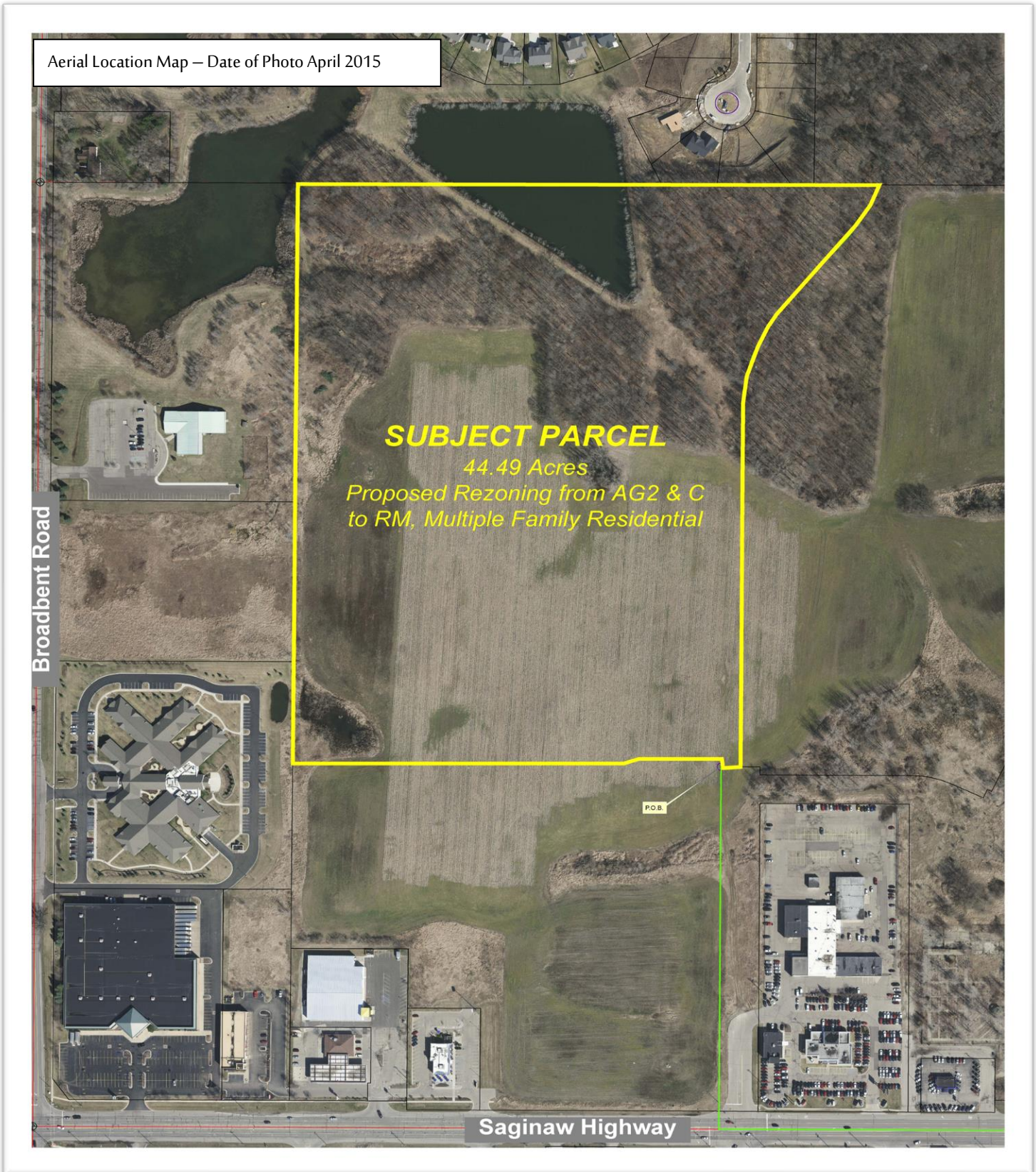
Page 3

Please be advised that this concept plan is highly likely subject to change, and does not necessarily represent what would actually be built on the subject parcel. The gross acreage of the subject parcel is 44.49 acres. The net developable acreage is 37 acres after subtracting water bodies and future public road rights-of-way, as is required by the Delta Township Zoning Ordinance. The requested RM, Multiple Family Residential, zoning classification permits a by-right density of 11 dwelling units per acre. 37 net acres would potentially yield a maximum of 407 dwelling units. Depending on the type of development proposed, combined with natural site limitations, it is unknown at this time if the maximum permitted density can be achieved.



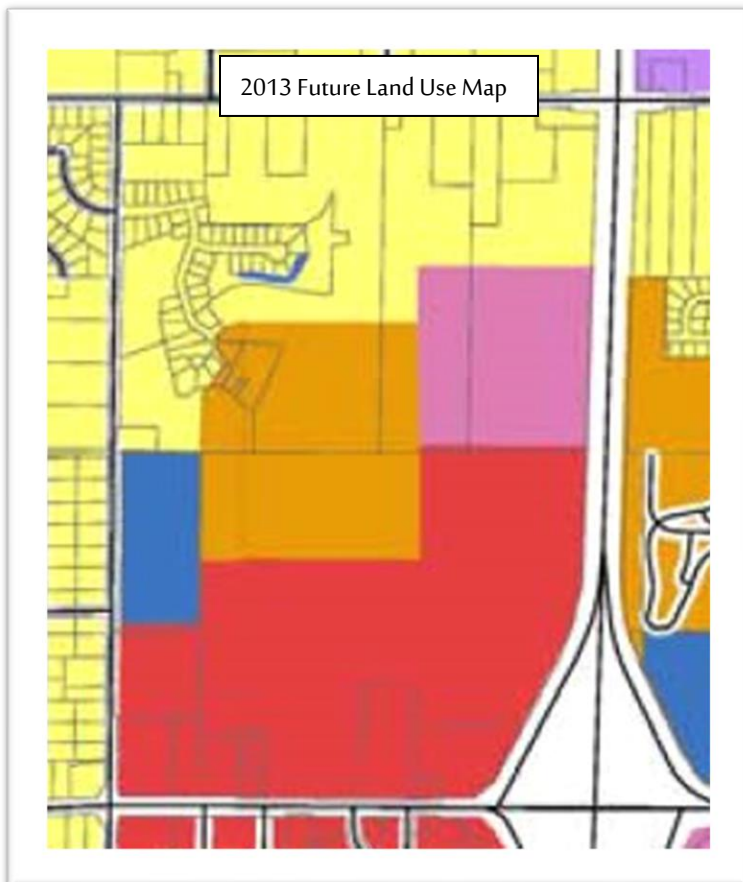


The aerial map inset below illustrates the subject parcel in relation to the abutting properties.



**SIGNIFICANT ELEMENTS OF THE 2013 COMPREHENSIVE PLAN:**

- The overall residential development goal is to provide for residential development that will address the needs of all segments of the population while preserving existing neighborhoods and providing adequate room for growth. (p. 64)
- One of the residential development objectives is to provide regulations permitting a range of housing types accommodating various income and age groups. (p. 64)
- The Plan also has the objective of enhancing the livability of residential areas by ensuring that they are walkable, possess adequate open space, and are compatible with adjacent non-residential areas. (p. 64)
- The Future Land Use Plan and Map seeks to provide appropriate locations for the Township’s highest residential densities. Permitted densities range from 5.1 to 15.0 units per acre dependent on the zoning classification, possible special land use permits, and the approved site plan. (p. 74)
- The Plan further states that Multiple Family Residential development is typically characterized by multi-family apartment buildings which are three stories or less in height although other dwelling types, such as attached townhomes are permitted. The majority of dwelling units in the Multiple Family Residential category are presently rental units which is a pattern expected to continue in the future. It is recommended that Multiple Family Residential Development be served by public water and sanitary sewer facilities.



- The Future Land Use Map (inset left) illustrates a recommended land use pattern in the area of Section 9 of the Township, lying between I-96 and Broadbent Road, consisting of a combination uses. It should be noted that the Plan does not contemplate that this area of the Township remain undeveloped; but recommends essentially a “mixed-use” development pattern consisting of commercial (red), office (purple), multiple-family residential (brown), single-family residential (yellow), and institutional (blue) uses. The subject parcel is encompassed by areas recommended for multiple-family residential and commercial land uses.



**RELEVANT ZONING ORDINANCE REGULATIONS:**

Section 16.04 – Criteria for Amendment of the Official Zoning Map.

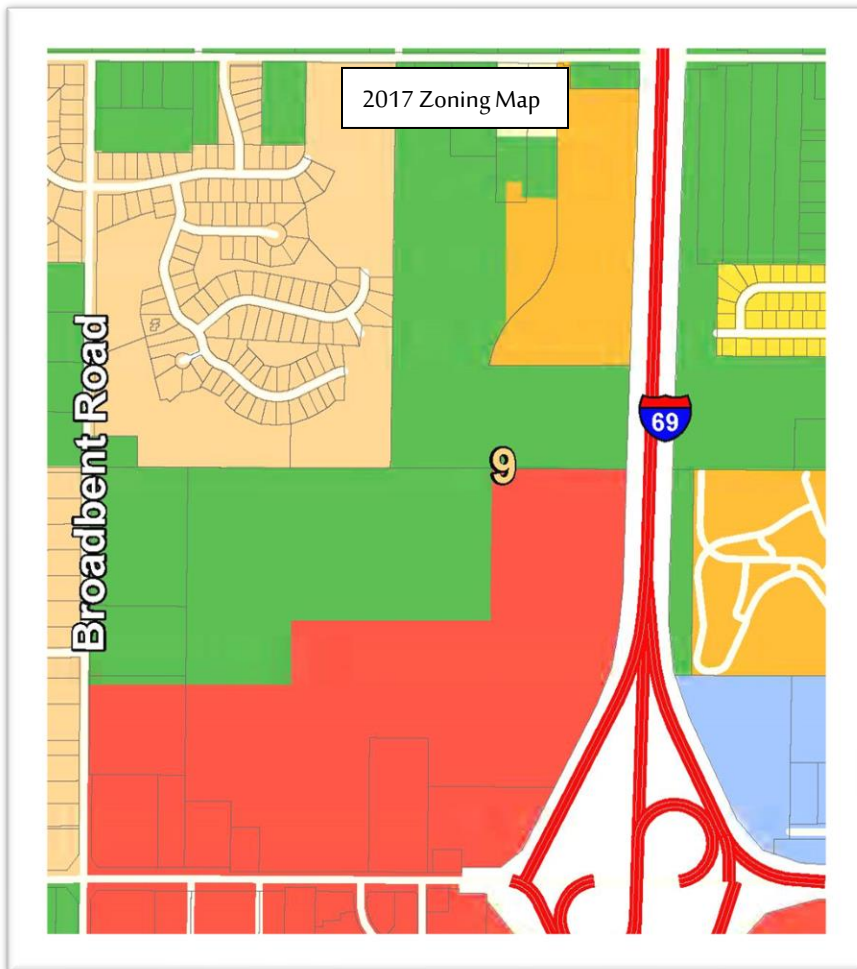
**ZONING HISTORY OF SUBJECT PARCEL:**

Under the 1970 Zoning Ordinance the subject parcel was zoned A, Single Family.

Under the 1974 Zoning Ordinance the subject parcel was zoned A2, Limited Agriculture.

On July 5, 1988, the Township Board denied requests in Case Nos. 2-88-7 and 2-88-8 for a rezoning of ±105 acres that included the subject parcel from A2, Limited Agricultural, to R5, High Density Residential, and a Conditional Use Permit for a mobile home park. Major reasons cited for denial were lack of adequate public storm drainage facilities to serve the proposed development and the lack of public sanitary sewer services. It should be noted that these facilities are now available to serve development in this area.

Under the 1990 Zoning Ordinance, which became effective on December 14, 1990, the subject parcel was zoned A2, Agricultural/Residential.



On July 17, 1995, the Township Board approved a request to rezone 126 acres on Section 9 of the Township west of I-96 from A2, Agricultural/Residential, to B2, Community Commercial. The 126 acres included the southern portion of the subject parcel that is currently zoned C, Commercial. This rezoning represents the “step-down” commercial zoning configuration that currently exists west of I-96 in Section 9 (area in red on zoning map inset left).

The current 2017 Delta Township Zoning Ordinance became effective on September 3, 2017, and the subject parcel was retained its present mixed classifications of AG2, Agricultural/ Residential, and C, Commercial.

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## **TECHNICAL INFORMATION**

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### **PHYSICAL SITE CHARACTERISTICS:**

The site is undeveloped. The aerial map above indicates that southern one-half of the subject parcel was formerly in agricultural production. A mature wooded area occupies the northern one-half of the parcel. Soils are indicative of the predominate types commonly found throughout the Township. The Soil Survey of Eaton County indicates that the primary soil types on the site are Marlette, Capac, Owosso, and Parkhill series. These soil types may present moderate to severe building limitations due to slope, wetness, and frost action. These soil classifications are general in nature and on-site soil borings would be necessary to determine actual building limitations. There appear to be no regulated wetlands on the site; nor are there any areas within the 100-year flood plain. There is a regional storm water detention basin that encroaches on the northern end of the site.

It should be noted that a natural features impact statement and protection plan would be required at the time of site plan review, as per Section 13.02 of the Delta Township Zoning Ordinance.

### **PUBLIC UTILITIES:**

Water – Public water service can be extended onto the subject parcel from several locations. There are 8-inch stubs at the current terminus of Marketplace Boulevard and at the eastern property line of the Regency Skilled Nursing Facility.

Sanitary Sewer – New sanitary sewer mains will have to be extended from multiple-family development area to the Pepper Ridge lift-station. The capacity of this lift-station will have to be expanded to accommodate the increased flow. Additionally, a new force main will be required to be constructed from the lift-station to the east and under I-96.

Storm Drainage – The subject parcel is located within the Lazelle Storm Drainage District, which is under the jurisdiction of the Eaton County Drain Commissioner's Office. There are a series of regional detention ponds in Section 9 of the Township that serve this drainage district. The northern portion of the subject parcel is encumbered by one of these ponds (see aerial map). Additional site-specific detention facilities may be required for future development by the Eaton County Drain Commissioner's Office.

### **STREETS AND ACCESS:**

The subject parcel would be served by extensions of Marketplace Boulevard to the north and Carlson Road to the east. Both would be public roads under the jurisdiction of the Eaton County Road Commission (ECRC). The developer has completed a comprehensive traffic impact study based on the "*Master Site Plan*". The study has been reviewed by the Michigan Department of Transportation (MDOT) as to the impacts on Saginaw Highway and its intersections from Broadbent to the I-96 interchange. The Eaton County Road Commission has also reviewed the study as it relates to the Marketplace and Carlson extensions and will determine the design

parameters for these roads and their intersections with Willow and Broadbent, respectively, as well as any future signalization at these intersections. There was a discussion as to the timing of the construction of Carlson Road during the site plan review for Phase 2 of Delta Crossings. MDOT has determined that Carlson Road extension may be postponed until 2022. If commenced prior to 2022, the road extensions will be concurrent with the development of Phase 3.

It should be noted that non-motorized connectivity from the future multiple-family residential development on the subject parcel would be evaluated during the site plan review process.

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## STAFF ANALYSIS

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In reviewing any application for an amendment to the Zoning Map, the Planning Commission and Township Board must identify and evaluate all factors relevant to the application.

The Planning Commission is charged with reporting its findings in full, along with its recommendations for disposition of the application to the Township Board. The following criteria contained in Section 16.04 of the Zoning Ordinance are required to be satisfied:

### **SECTION 16.04 – CRITERIA FOR AMENDMENT OF THE OFFICIAL ZONING MAP:**

**1. Whether the rezoning is consistent with the goals, policies, and uses proposed for the subject parcel in the Township’s Comprehensive Plan.**

*It can be argued that the proposed rezoning is consistent with the goal to provide for residential development that will address the needs of all segments of the population while preserving existing neighborhoods and providing adequate room for growth. Further, the requested rezoning would facilitate the Plan’s stated objective of permitting a range of housing types accommodating various income and age groups.*

*The future land use map recommends that the subject parcel generally be developed for multiple-family residential and commercial land uses. The request is consistent with this recommendation.*

*The Multiple-Family Residential classification is designed to provide sites for apartment/condominium-style dwelling structures and related uses which can generally serve as zones of transition between nonresidential districts and lower density single-family residential districts. It can be argued that the subject parcel can serve this transitional function between the commercial corridor uses along Saginaw Highway and the established single-family neighborhoods abutting the north side of the subject parcel.*

*It can also be argued that Multiple Family Residential housing units and buildings can provide opportunities for a younger population to live in the Township. Areas designated as Multiple-Family are often characterized by existing/proposed high-density development, close proximity to major thoroughfares, and low impact to streets, making them attractive to a more active segment of the population. Again, supporting the objective of providing a range of housing types accommodating various income and age groups.*

**2. Whether the rezoning is justified by a change in conditions since the original ordinance was adopted or by an error in the original ordinance.**

*There was not an error in originally placing the subject parcel in its current AG2 and C zoning classifications. The subject parcel has retained these zoning classification for 26 years, and has remained undeveloped. Current economic conditions, and the availability of all the necessary public utilities have combined to make the subject parcel attractive for development. Based on the future land use recommendations of the Comprehensive Plan, a change in zoning to an RM classification is supported.*

**3. Whether the subject parcel possesses natural features and environmental characteristics which would be significantly adversely impacted by a development or use allowed by the requested rezoning.**

*The subject parcel does have mature wooded areas on its northern one-half. As noted earlier in this report, a natural features impact statement and protection plan would be required at the time of site plan review, as per Section 13.02 of the Delta Township Zoning Ordinance.*

**4. Whether the rezoning complies with the purposes of this ordinance as described in Section 1.02 D.**

**(1) Promoting and protecting the public health, safety, and general welfare:**

*The requested rezoning would not result in a detriment to the public health, safety, or welfare. Adequate supporting infrastructure can be provided to support development. The Delta Township Zoning Ordinance and adopted development review procedures offer safeguards to protect adjacent uses.*

**(2) Protecting the character and stability of the agricultural, recreational, residential, commercial, and industrial areas within Delta Township and promoting the orderly and beneficial development of such areas:**

*As noted above, the Multiple-Family Residential classification is designed to provide sites for apartment/condominium-style dwelling structures and related uses which can generally serve as zones of transition between nonresidential districts and lower density single-family districts. It can be argued that the rezoning is appropriate to serve as such a transition between the commercial uses to the south and the single-family neighborhood to the north. Additionally, the Delta Township Zoning Ordinance prescribes the identification and protection of natural features, as well as landscape buffering between RM zoned land and single-family zoning districts. Natural areas can be utilized to meet buffering requirements.*

**(3) Providing adequate light, air, privacy, and convenience of access to property:**

*The required greenbelts, buffering, and natural feature preservation would provide privacy for both the existing surrounding land uses as well as any development on the site. Convenient access is assured via the future abutting roadways. Adequate light and air are assured via the required minimum building setbacks from the abutting road rights-of-way and all other property lines of 40 feet.*

- (4) **Regulating the intensity of use of land and lot areas, and determining the area of open spaces surrounding buildings and structures necessary to provide adequate light and air and to protect the public health:**

*Development standards contained in the Zoning Ordinance prescribing minimum required setbacks, building height limitations, residential density limits, etc. would ensure adequate open spaces, light, and air.*

- (5) **Lessening and avoiding congestion on public highways and streets:**

*The subject parcel would be in close proximity to the developing mixture of retail, restaurant, and service uses in the immediate vicinity, which would allow for nonmotorized access. This would serve to minimize vehicle trips for the residents of any future development on the subject parcel.*

- (6) **Promoting adequate and efficient provisions for transportation systems, sewage disposal, water, energy, recreation, and other public service and facility requirements:**

*All required public facilities are available and adequate to serve development on the subject parcel.*

- (7) **Encouraging the use of lands and natural resources in the Township in accordance with their character and adaptability:**

*As noted above, the subject parcel is located in an area that is recommended for a mixture of commercial, office, institutional, and multiple-family residential, and single-family residential uses. It can be argued that the requested rezoning would be consistent with the established and recommended character in the vicinity. It can be further argued that via the Zoning Ordinance's prescribed greenbelts buffer zones, natural features preservation, and setbacks, the subject parcel can be adapted to minimize negative impacts on neighboring uses.*

- (8) **Limiting the improper use of land:**

*The requested rezoning is consistent with the future land use recommendations of the Comprehensive Plan, and would not result in the improper use of the land.*

- (9) **Fixing reasonable standards to which buildings and structures shall conform:**

*Conformance with the Zoning Ordinance and other adopted development regulations of the Township and applicable County and State agencies must be demonstrated prior to the commencement of development.*

**(10) Prohibiting uses, buildings or structures which are incompatible with the character of development or the uses, buildings or structures permitted within specified zoning districts:**

*Again, conformance with the Zoning Ordinance and other adopted development regulations of the Township and applicable County and State agencies must be demonstrated prior to the commencement of development. Nonconformance would be impermissible.*

**(11) Protecting against fire, explosion, noxious fumes and odors, heat, dust, smoke, glare, noise, vibration, radioactivity, and other nuisances and hazards in the interest of the public health, safety, and general welfare:**

*There is no inherent prospect of the above eventualities occurring associated with the proposed rezoning.*

**(12) Preventing the overcrowding of the land and undue concentration of buildings and structures so far as is possible and appropriate in each zoning district by regulating the use and bulk of buildings in relation to the land surrounding them:**

*The development standards contained in the Zoning Ordinance serve to address the above stated issues.*

**(13) Otherwise reduce hazards to life and property:**

*The rezoning request in and of itself does not represent a hazard to life and property. Again, the Township's adopted development regulations serve to reduce hazards to life and property regardless of the type of development or zoning classification.*

**5. Whether uses allowed under the proposed rezoning would be equally or better suited to the area than uses allowed under the current zoning.**

*The current zoning is inconsistent with the future land use recommendations contained in the Comprehensive Plan, and does not support the recommended development pattern. Thus, the proposed rezoning is better suited to fulfill the Plan's development pattern foreseen by the Plan.*

**6. The ability of the Township or other governmental agencies to provide services, infrastructure and facilities that may be required if the rezoning were approved.**

*The Township and other governmental agencies will be able to continue to provide required services, infrastructure, and facilities if the rezoning were to be approved.*

**OTHER CONSIDERATIONS:**

At the time of writing this staff report, the Commission is in receipt of e-mail correspondence from Township residents expressing concerns regarding the rezoning request. The correspondence is from:

- Mr. Mark Benton, dated February 24, 2021



- Mr. & Mrs. Greg & Danell Florian, dated February 28, 2021
- Mr. Jon Rogozinski, dated March 2, 2021
- Ms. Kelsey Oosterhoff, dated March 4, 2021

Copies of the correspondence are attached for the Commission's review.

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## STAFF RECOMMENDATION

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**The following motion is offered for the Planning Commission's consideration:**

“I move that the Delta Township Planning Commission recommend to the Delta Township Board **approval** of the rezoning request to rezone the property described in Case No. 02-21-03 from AG2, Agricultural/Residential & C, Commercial to RM, Multiple Family Residential, being that the proposed rezoning request complies with the criteria specified for rezonings in Section 16.04 (Criteria for Amendment to the Official Zoning Map) of the Delta Township Zoning Ordinance.”

/gb

Attachments

HTTPS://DELTAMI2.SHAREPOINT.COM/SITES/DELTAPLANNINGDEPARTMENT/SHARED\_DOCUMENTS/GENERAL/GARY\_BOZEK/RPT/RZ/K2\_MULTI-FAMILY/K2\_MULTI-FAMILY\_REZONING\_REQUEST\_STAFF\_REPORT.DOCX

## Gary Bozek

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**From:** Mark Benton <markpbenton@yahoo.com>  
**Sent:** Wednesday, February 24, 2021 10:52 AM  
**To:** Gary Bozek  
**Cc:** Ken Fletcher; Mary Clark; Dennis Fedewa; Beth Bowen; Fonda Brewer; Andrea Cascarilla; Karen Mojica  
**Subject:** Rezoning Case NO. 02-21-03

Hello Mr. Bozek,

I am writing on behalf of the rezoning request - Case # 02-21-03. Speaking for several home owners within the Shawdow Glen subdivision and surrounding area, we are very concerned about the direction the township is headed. **To take our beautiful rural settings, which attracted current homeowners to the area in the first place**, and invest in additional multi-family housing and retail strip malls, which based on the number of vacant buildings already in the township should tell us this is a short term gain with potential endless consequences.

As for rezoning the 44.49 acre parcel in Case # 02-21-03 we ask that you please consider maintaining the natural wooded and water areas. That would seem to be a reasonable compromise to maintain current homeownership, wild life habitat and to do our part for the environmental. **"WE want to being known as the township that cares for its people and environment"**.

Thank you for your consideration regarding this matter.

Regards  
Mark Benton

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## Gary Bozek

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**From:** Greg and Danell <gdflorian@sbcglobal.net>  
**Sent:** Sunday, February 28, 2021 6:15 PM  
**To:** Gary Bozek  
**Subject:** Comments on Delta Crossing Rezoning Request

We appreciate the opportunity to provide our thoughts and concerns regarding the rezoning request for the Delta Crossing development – Case No 02-21-03. We plan to attend the Zoom meeting, but want to provide a written statement as well in case we have technical difficulties.

We have concerns as we are directly affected by the proposed rezoning and future-phase development plan for the multi-family housing that abuts Shadow Glen. We are currently building on lot 44 and plan to move in April. Looking at the proposed plan, we will have apartments approximately 100 feet from our back yard and a new road very close to our property. These items are very concerning to us and therefore we cannot support the rezoning and proposed plan.

We are looking to retire in a few years and decided to move to Delta Township for that phase of our lives. We fell in love with Shadow Glen due to the caliber of housing and the beautiful manner in which the subdivision is maintained. We chose our lot because of the woods, privacy, and greenspace directly behind it. The zoning for the property behind us is currently agriculture/residential which gave us comfort. Now with the proposed plan, we as home owners are living our worst nightmare. This is very stressful and most concerning to us.

The following are some items that we hope you will consider:

- Shadow Glen has high caliber housing with values near or over a half million dollars. People do not expect subdivisions of this level in Delta Township to have apartments and commercial property so close to their back yards. Allowing commercial buildings/multi-family housing to be placed so close without a large greenspace buffer will decrease the appeal and lower home values, especially ours. It would also be a tremendous eyesore for residents of Shadow Glen compared to the current natural view.
- The multi-family buildings are within a few feet from our back yard. We are not allowed to have wooden fencing so there is nothing we can do to hide them. We are very concerned that the multi-family housing is probably also multi-level. If that is the case, there is nothing that could hide the eyesore from our view.
- With the proposed plan, most if not all of the trees and wildlife that currently exists will be gone. Even if a few token trees are left, it will not be enough to provide any buffer between our property and the commercial development, or habitat for wildlife.
- We have concern with the additional lights, noise, and even safety due to the transient nature of the occupants and visitors that would accompany this development.
- The proposed road is also very concerning to us as it is very close to our property line. Our quiet cul-de-sac would no longer be quiet with a new road being placed so close. There is also the concern of speeding traffic. Would it be possible to not have the road extend to Willow and instead connect Saginaw to Broadbent only? If the road is absolutely necessary, we ask that it be moved further east and closer to I-96 and the commercial property.
- As you know, people are drawn to communities that preserve woods and greenspace. The public now has an expectation that greenspace be maintained in new developments because everyone loves nature and wildlife in

their backyards. The proposed development clears out almost all greenspace and woods in the entire section of land west of I-96. It is entirely buildings, roads, parking and parking lots.

If the planning board decides to approve the rezoning request and plan proposal, we ask that you do not approve the two apartment buildings directly behind our property and leave the trees and natural area as a buffer from the commercial development.

Once again, we are not in favor of the rezoning request for the property immediately behind our lot in Shadow Glen. We hope that you take our concerns into consideration as you evaluate this proposal. Your decision impacts the lives of many home owners and their families.

Thank you for considering our concerns.

Sincerely,

Greg and Danell Florian

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## Gary Bozek

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**From:** Jon Rogozinski <rockinrogo1@gmail.com>  
**Sent:** Tuesday, March 2, 2021 12:01 PM  
**To:** Ken Fletcher; Gary Bozek; Dennis Fedewa; Karen Mojica; Andrea Cascarilla; Beth Bowen; Mary Clark  
**Subject:** Rezoning Case NO. 02-21-03

To whom it may concern,

This email correspondence is in regards to the rezoning request - Case # 02-21-03.

Speaking with other homeowners within the Shadow Glen subdivision and surrounding area, there are serious concerns about the apparent direction of Delta Township. We live in a unique and beautiful setting, which attracted us here and are vehemently opposed to the addition of multi-family housing and retail strip malls, especially considering the numerous vacant buildings and current economic conditions. Unfortunately, this direction appears to be short-sighted favoring short term/quick gains versus long-term with probable negative, irrevocable consequences.

As for rezoning the 44.49 acre parcel in Case # 02-21-03 we ask that you please consider maintaining the natural wooded and water areas. This is a reasonable compromise to maintain current homeownership, wildlife habitat and to protect the environment and uniqueness of the Township.

I previously lived in Meridian Township where the limitation of both commercial and residential expansion created and fostered a unique place to live and was hopeful that Delta Township would have the same perspective.

Your time and consideration are greatly appreciated.

Sincerely,

Jon & Susan Rogozinski

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**From:** [Kelsey Oosterhoff](#)  
**To:** [Gary Bozek](#)  
**Cc:** [Ken Fletcher](#); [Mary Clark](#); [Dennis Fedewa](#); [Beth Bowen](#); [Fonda Brewer](#); [Andrea Cascarilla](#); [Karen Mojica](#)  
**Subject:** Re: Transmittal of Case No. 02-21-03 Rezoning Staff Report  
**Date:** Thursday, March 4, 2021 11:39:18 AM  
**Attachments:** [image002.png](#)

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March 4, 2021

Gary:

Thank you for providing the requested information regarding Case No. 02-21-03. I greatly appreciate the opportunity to review and share my opinions with the Planning Commission.

My husband and I recently built what we intended to be our forever home on the Badlands Drive cul-de-sac in Shadow Glen. Our property is adjacent to the vacant land being considered for rezoning and development. Within three weeks of moving into our home, we learned of the proposed development plans which have cast doubt on our dreams for our two young kids (ages 3 and 5 months) growing up in this home. Prior to building, we researched the ownership and zoning of the vacant land and were comforted by the fact that it was zoned AG2.

I am in a unique position because I am not only viewing these plans through the lens of a neighboring resident, but also as an experienced facility planner. In my research, I reviewed the applicant's proposed concept plan along with the Township's Future Land Use Plan and Zoning Ordinance. Regarding the proposed development, I am aware that the conceptual plans available today are highly likely to change. I am hopeful that the Planning Commission will do their part to ensure the adverse impact to the natural landscape and neighboring community is minimal. Although, I must admit I am disheartened after reading the Township's Future Land Use Plan and zoning ordinances. The classification of the land south of Shadow Glen as mixed-use and, furthermore, grouping it in with the commercialized Marketplace development across the street is concerning. Additionally, the importance of maintaining and cultivating natural landscapes, greenspaces, and recreation areas for the community is sorely lacking.

I would be interested in seeing the market analysis that supports additional big-box and strip mall retail space and multi-family housing which appears plentiful in the area. I worry that the movement and re-location of commercial business further west near the highway will exacerbate the decline of Saginaw Highway further east near the Lansing Mall and Lansing proper.

I respectfully ask the Planning Commission to fully consider the long-term impacts to both the community and environment.

Thank you for your consideration.

Sincerely,

Kelsey Oosterhoff

On Thu, Mar 4, 2021 at 9:57 AM Gary Bozek <[GBozek@deltami.gov](mailto:GBozek@deltami.gov)> wrote:

As per your request. Feel free to contact me if you have any questions.



Planning Department

(517) 323-8560

**MEMO**

**TO:** Planning Commission  
Delta Charter Township

**FROM:** Gary Bozek  
Planning Director

**DATE:** March 3, 2021

**SUBJECT:** Proposed Zoning Ordinance Amendments Pertaining to Maximum Permitted Parking, Section 11.01 C. 7., in Case No. 02-21-04.

Since the current Zoning Ordinance became effective in September of 2017, and staff has had the opportunity to work with the regulations, we have identified a number of provisions that require modification. This is the first of several amendment requests that staff will bringing to the Planning Commission for consideration. This particular section requires immediate attention because its application has already required four variances, and there are at least two projects on the horizon that will also require variances from this particular section.

Section 11.01 C. 7. of the 2017 Zoning Ordinance places a limit on the maximum amount of parking that is allowed to be developed on a site in conjunction with a particular use. The Zoning Ordinance provides a table listing a myriad of uses and the minimum number of parking spaces required for each of those uses. Section 11.01 C. 7. contains language that limits the amount of parking beyond the minimum amount required that can be provided. The existing language is as follows:

***Maximum Permitted Parking.** The number of parking spaces provided on any development site, with the exception of single-family residential developments, schools, colleges, child care centers, hospitals, and places of worship and assembly, shall not exceed the minimum standards of this Chapter by more than twenty percent (20%). This limitation is intended to limit excess amounts of impervious surface which result in increased stormwater run-off, prevent the unwarranted conversion of green space to paved areas, and promote improved aesthetics.*

Uses are limited to an excess of no more than 20% beyond the minimum number of parking spaces required for a use. The stated intent of this section is to limit excess amounts of impervious surface which result in increased stormwater run-off, prevent the unwarranted conversion of green space to paved areas, and promote improved aesthetics. When proposed by the consultant, this section seemed logical to achieve this goal. However, even though a number of exemptions were carved out for some specific uses, it was not anticipated that industrial uses and large corporate campuses like Auto-Owners would be negatively impacted.



Best zoning practices suggest that if a particular standard or regulation is generating numerous zoning variance requests, consideration should be given to amending the standard or regulation in a manner that would reduce the need for a variance. Staff is proposing consideration of two alternatives, as follows:

**Proposed Language (Alternative One):**

***Maximum Permitted Parking.** The number of parking spaces provided on any development site, with the exception of single-family residential developments, schools, colleges, child care centers, hospitals, places of worship and assembly, single-entity owned corporate office campuses thirty (30) or more contiguous acres in size, call centers, and industrial zoned development, shall not exceed the minimum standards of this Chapter by more than thirty percent (30%). This limitation is intended to limit excess amounts of impervious surface which result in increased stormwater run-off, prevent the unwarranted conversion of green space to paved areas, and promote improved aesthetics.*

**Proposed Language (Alternative Two):**

*(Complete deletion of Section 11.01 C. 7.)*

The first alternative expands the list of uses that would be exempt from the maximum permitted parking limits. The expanded list addresses the situations we are encountering with industrial users and large corporate campuses like Auto-Owners. It also increases the limits for other uses from 20% over the minimum parking requirements to 30%, which may prove to be less burdensome on the remaining uses in the Township, while still providing some limits.

Keep in mind that there are other provisions of the 2017 Zoning Ordinance that also aim to limit impervious surface. We now have a requirement that at least 20% of a site must be green space. Additionally, nearly all the minimum required parking standards have been reduced from previous zoning ordinances. For example, the minimum number of required parking spaces for retail uses began at 6 parking spaces per 1,000 square feet of building area, and it is now at 4 parking spaces per 1,000 square feet of building area; thus, being reduced by one-third.

It should be noted that most of the Township's commercial areas were developed under standards that required more parking. This current standard limiting total parking has made many of the existing commercial developments non-conforming. This often has negative implications in the refinancing of existing developments. A more relaxed standard may help in this regard.

The second alternative would simply remove the limitation entirely. It would serve to entirely alleviate the non-conformity issue. The other means of limiting impervious surface described above would be the still be available to accomplish this goal.

The following motion is offered for the Planning Commission's consideration:

"I move that the Delta Planning Commission recommend to the Delta Township Board approval of proposed Zoning Ordinance text amendments prepared by staff pertaining to Maximum Permitted Parking in Section 11.01 C. &., as described in "Alternative One" in Case No. 2-21-04; and refer the proposed amendments to the Planning Commission for the purposes of holding a public hearing and submitting a recommendation to the Township Board."



DELTA CHARTER TOWNSHIP PLANNING DEPARTMENT STAFF REPORT

PREPARED BY: Matt McKernan, Planner

DATE: March 3, 2021

---

GENERAL INFORMATION

---

APPLICANT: JJ Freight, 5328 Mt. Hope Hwy, Lansing, MI 48917

OWNER: Sherman Trust, 5878 Button Wood, Haslett, MI 48840

REQUESTED ACTION: Site plan review or an office and truck service bay for JJ Freight trucking terminal and driving school.

EXISTING ZONING: I, Industrial

GENERAL LOCATION: Lots 25 & 26 of Westland Park Plat, Section 34 of Delta Township.

EXISTING LAND USE: Undeveloped Industrial Property

ADJACENT LAND USES: N: CN Railroad right-of-way  
E: Undeveloped Industrial Property  
W: Undeveloped Industrial Property  
S: Shipping and storage facilities

ADJACENT ZONING: N: I, Industrial  
E: I, Industrial  
W: I, Industrial  
S: I, Industrial

### PROJECT DESCRIPTION

The Planning Department is in receipt of preliminary site plans for JJ Freight trucking school. The proposed development will be located on Lots 25 and 26 (040-084-800-250-00 & 040-084-800-260-00) of the Westland Park Industrial Subdivision, in Section 34, which was created in 1991. The JJ Freight site will be utilized for short-term parking of semi-trucks and as a training school for drivers hoping to attain their Commercial Driver’s License (CDL).

The site will feature a 6,276 square foot building with an office, conference room, and truck maintenance terminal. The site has 23 parking spaces for employees/guests and 50 spaces for semi-truck parking. The site will be surrounded by a six-foot tall chain link fence. The hours of operation for the facility will be 8 a.m. to 5 p.m. Monday-Friday.



The following comments regarding the proposed plans are offered for your consideration:

**ZONING:**

The subject parcel is zoned I, Industrial. Truck terminals are a use permitted by-right in the Industrial Zoning District.

**SITE DEVELOPMENT STANDARDS:**

The applicable site development standards are reviewed in the following tables:

Building Setbacks	Standard	Proposed
Front Setback (East)	75'	±95'
Side Setback (North)	25'	±280'
Side Setback (South)	25'	±55'
Rear Setback (West)	30'	±150'
Building Heights	Maximum	Proposed
	No Limit	22'

Parcel Size Standards	Minimum Required	Proposed
Site Area	1 Acre	4.79 Acres
Site Frontage/Width	150'	505'
Lot Coverage (Buildings)	Maximum Permitted	Proposed
	50%	3%

**UTILITIES:**

Water/Sewer – The Township Engineering Department has reviewed the request and offered the following comments:

1. The project involves new service connections to existing water and sanitary sewer mains. No main construction is required, and no utility agreement will be necessary. The applicant will need to pay capital charges and coordinate connection with the Engineering and Utilities Departments.
2. Our records indicate that there may be a 1-1/2" water service stub to these lots. We do not have specific location information if they exist. The applicant's contractor will need to field verify in conjunction with Delta Utilities staff prior to making any new connections to the water main.
3. The service bay will likely require oil/grease/sand interceptor(s) per the plumbing code. These should be shown on the drawings.
4. A sampling manhole will be required on the sanitary sewer lead, downstream of the service bay and domestic sewage junction in the sewer lead.

The applicant shall be required to comply with all recommendations of the Township Engineering and Utilities Departments.

Storm Drainage – The properties will drain into the Westland Park Drain which runs between Lots 25 and 26 and outlets into a detention pond on the adjacent property to the west of the proposed development. Stormwater management plans will need to be approved by the Eaton County Drain Commissioner's Office prior to final site plan approval. A soil Erosion and Sedimentation Control permit will also likely to be required by the ECDC.

**VEHICULAR ACCESS:**

The site will be accessed by a driveway off Westland Way in the southeastern corner of Lot 26. Approval of the site plan should be made contingent on receiving final design approval of the new driveway and its intersection Westland Way intersection, and obtaining all applicable permits, from the Eaton County Road Commission.

**FIRE PROTECTION:**

There are two proposed fire lanes adjacent to the building. A Knox Box will be located on the front of the building to allow fire department access to the property in the event of an emergency. The applicant shall be required to cooperate and comply with any recommendations made by the Township Fire Inspector.

## **PARKING REQUIREMENTS**

### **Section 11.03 Schedule of Off-Street Parking Requirements: 21 required parking spaces**

Office: 1 space per 300 ft of useable floor area- 6 spaces required

Conference Room: 1 space for every 4 persons allowed by maximum occupancy-13 spaces required

Truck Terminal: 1 space for each 2 employees- 2 spaces required

Provided Parking Spaces: 23

There are an additional 50 spaces (12'x75') for semi-truck storage. These spaces will be utilized for parking for off-site drivers and for instruction of individuals training for their CDL license. The Township has traditionally classified these type of spaces as “outdoor storage” in the industrial district and thus the spaces do not count against the maximum permitted parking requirements.

## **LANDSCAPE REQUIREMENTS:**

### **Section 12.02 (H) Buffer Zone Requirements:**

Landscaped buffering is not required when Industrial properties are adjacent to other Industrial zoned properties.

### **Section 12.02 (I) Parking Lot Landscaping Requirements:**

Required: 1 Tree for every 6 Spaces

Provided: 4 Trees (21 parking spaces)

### **Section 12.02 (J) Greenbelts:**

Westland Way Frontage: 505 LF

Required: 13 Trees, 51 Shrubs

Provided: 14 Trees, 55 Shrubs

The landscape plan is in compliance with Township requirements. A landscape surety agreement and surety will have to be provided by the developer for the required landscaping.

### **Non-motorized Transportation:**

Sidewalk installation is not required in the I-Industrial zoning district. The property is not located near any proposed non-motorized pathways identified in the Township’s 2018 Non-Motorized Transportation Plan.

### **Lighting:**

The lighting plan is in compliance with Township requirements.

**STAFF RECOMMENDATION:**

The following motion is offered for the Planning Commission's consideration:

"I move that the Delta Township Planning Commission approve the preliminary site plans for the proposed JJ Freight trucking school, as illustrated on site plans prepared by Ziemnick Foster Engineering, and dated on 2/5/21, subject to the following stipulations:

1. The applicant shall comply with the following requirements imposed by the Township Engineering and Utilities Departments:
  - a. The project involves new service connections to existing water and sanitary sewer mains. No main construction is required, and no utility agreement will be necessary. The applicant shall pay the requisite capital charges and coordinate utility connections with the Engineering and Utilities Departments.
  - b. Township records indicate that there may be a 1-1/2" water service stub to these lots. The applicant's contractor will need to field verify in conjunction with Delta Utilities staff prior to making any new connections to the water main.
  - c. The service bay will require the installation of oil/grease/sand interceptor(s) per the plumbing code. These shall be shown on the drawings.
  - d. A sampling manhole will be required on the sanitary sewer lead, downstream of the service bay and domestic sewage junction in the sewer lead. The manhole shall be shown on the drawings.
2. The applicant shall comply with any and all requirements imposed by the Township Fire Department.
3. A landscape surety agreement shall be executed with the Township.
4. All necessary approvals and permits shall be obtained from the Eaton County Road Commission.
5. Final approval of the storm drainage plan shall be obtained from the Eaton County Drain Commissioner's Office and any applicable permits obtained.

The aforementioned stipulations shall be complied with prior to the Zoning Administrator granting final approval of the site plan."



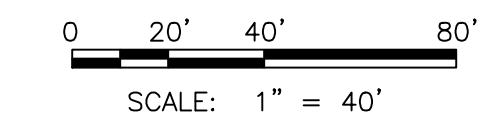
BM NO.: 228 ELEVATION: 876.81  
TOP OF FLANGE BOLT UNDER  
THE "E" IN EJW HYDRANT

BM NO.: 308 ELEVATION: 877.87  
TOP OF FLANGE BOLT UNDER  
THE "E" IN EJW HYDRANT

BM NO.: 607 ELEVATION: 872.01  
SOUTH CORNER OF CONCRETE  
GENERATOR PAD ADJACENT TO R.R.



Know what's below.  
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**CIVIL SYMBOL LEGEND**

**EXISTING TOPOGRAPHY — PLAN**

- SHRUBS
- CONIFEROUS TREE
- DECIDUOUS TREE
- HEDGE
- EDGE OF WOODS
- LIGHT
- GUY ANCHOR
- UTILITY POLE
- SIGN
- GUARD RAIL
- EXISTING FENCE
- PROPOSED FENCE
- GRAVEL SURFACE
- SOIL BORING LOCATION
- DOWNSPOUT
- PAVED SURFACE
- EXISTING CURB & GUTTER
- TRAVERSE POINT/CONTROL POINT
- CONCRETE MONUMENT
- SET PROPERTY IRON
- FOUND PROPERTY IRON
- LOT LINE (AS PLATTED)
- R.O.W. LINE
- SECTION LINE
- BENCHMARK
- SECTION CORNER
- EXISTING CONTOUR ELEVATION
- EXISTING PARKING METER
- EXISTING BOLLARD OR POST
- EXISTING PEDESTRIAN SIGNAL POLE

**EXISTING UTILITIES**

- 6" SAN — SANITARY SEWER & MANHOLE
- 12" STM — STORM SEWER & MANHOLE
- CATCH BASIN CURB TYPE
- CATCH BASIN ROUND TYPE
- CATCH BASIN SQUARE TYPE
- VALVE
- CURB STOP
- HYDRANT
- PLUG
- 6" WTR — WATER MAIN
- MONITORING WELL
- FIRE DEPARTMENT CONNECTION
- GAS METER
- 2" GAS — GAS MAIN
- UNDERGROUND ELECTRIC
- ELECTRIC HAND HOLE
- ELECTRIC MANHOLE
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- STEAM LINE AND MANHOLE
- FIBER OPTICS
- UNDERGROUND TELEPHONE
- ELECTRIC HAND HOLE

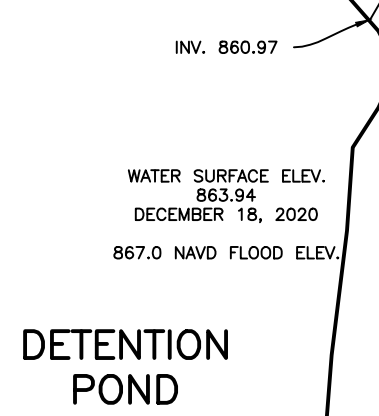
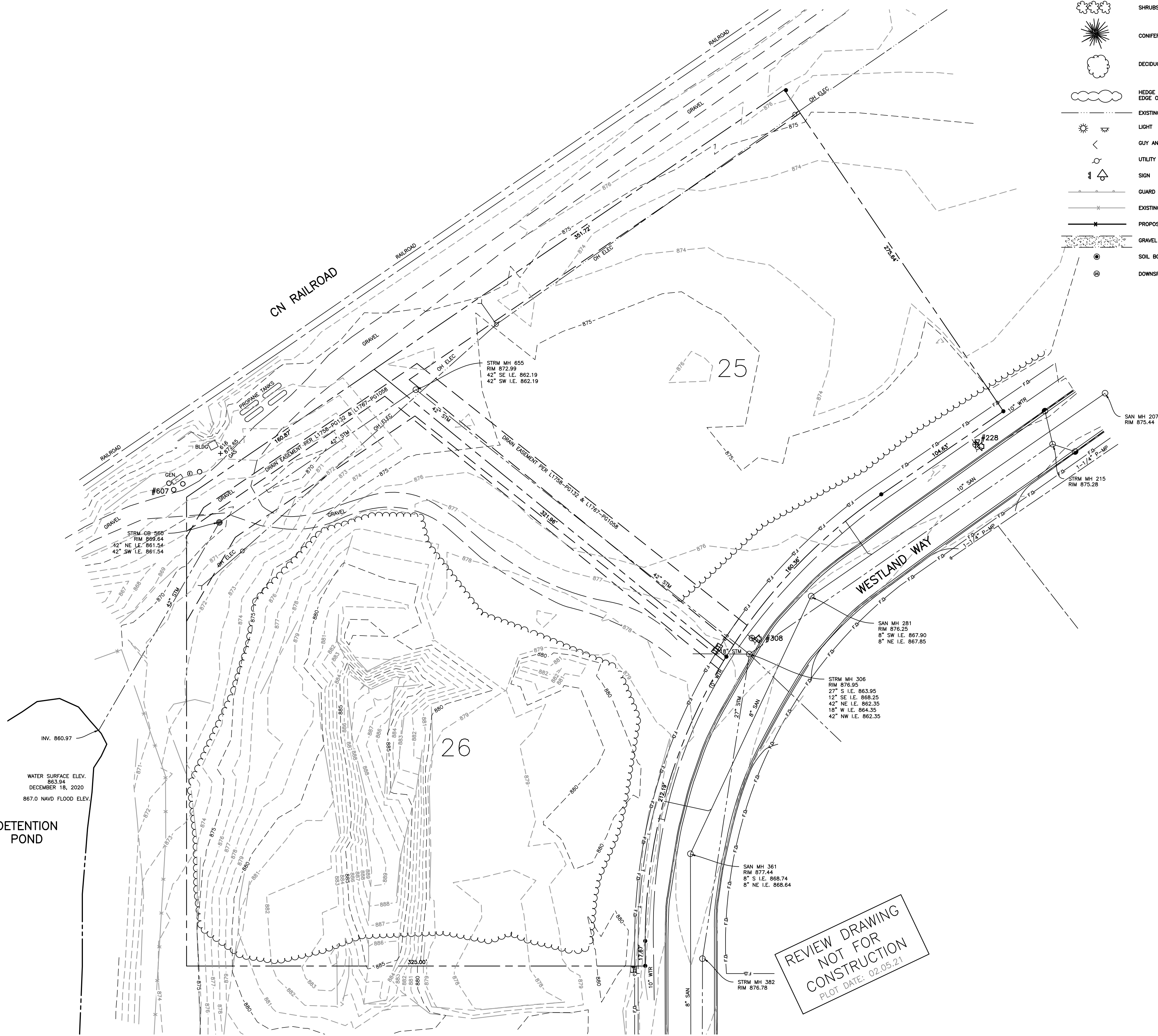
PIPE	CONTENTS	ABBREVIATIONS
	NATURAL GAS	SAN
	SANITARY SEWER	STM
	STORM SEWER	WTR
	WATER	FM
	FORCE MAIN	

PIPE	MATERIAL	ABBREVIATIONS
CSP	CORRUGATED STEEL PIPE	
CSPA	CORRUGATED STEEL PIPE ARCH	
DIP	DUCTILE IRON PIPE	
NRPC	NON-REINFORCED CONCRETE PIPE	
PE	POLYETHYLENE	
PE PERF.	POLYETHYLENE PIPE PERFORATED	
PVC	POLYVINYL CHLORIDE	
RCP	REINFORCED CONCRETE PIPE	
VCP	VITRIFIED CLAY PIPE	

**PETITIONER**  
DAYLIN SANCHEZ  
JJ FREIGHT  
5328 W. MT HOPE HIGHWAY  
LANSING, MI 48917  
TELEPHONE: 517-574-3344  
EMAIL: daylin.sanchez@jifreightllc.com

**LEGAL DESCRIPTION**  
LOTS 25 AND 26 OF WESTLAND PARK NO. 2, DELTA TOWNSHIP, EATON COUNTY, MICHIGAN ACCORDING TO THE RECORDED PLAT THEREOF AS RECORDED IN LIBER 12 OF PLATS, PAGE 7, EATON COUNTY RECORDS. CONTAINING 4.79 ACRES M/L. SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHT OF WAYS OF RECORD.

**PROPERTY SIZE (PARCEL #015-005-033-21)**  
OVERALL SIZE: 4.79 ACRES M/L (208,957 SF)



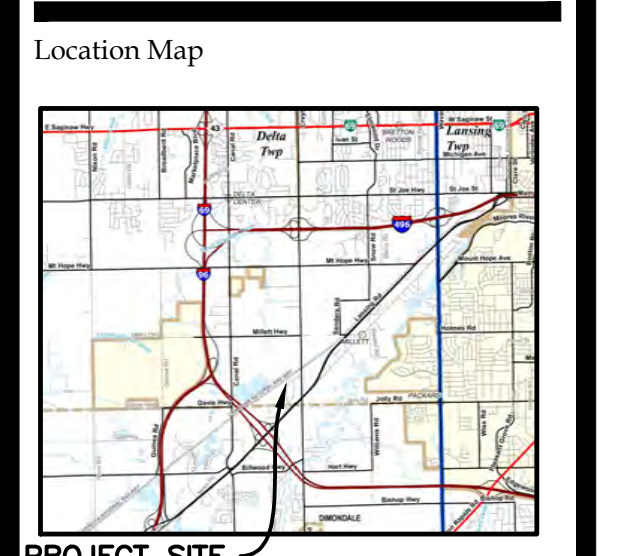
REVIEW DRAWING  
NOT FOR  
CONSTRUCTION  
PLOT DATE: 02.05.21

**PLANS SET — SITE PLAN REVIEW**

- SHEET**
- C01 EXISTING CONDITIONS PLAN
  - C02 DEMOLITION / SOIL EROSION SEDIMENTATION CONTROL (NOT INCLUDED IN SET)
  - C03 LAYOUT PLAN
  - C04 GRADING & UTILITY PLAN
  - C05 LANDSCAPE PLAN
  - C06 DETAILS
  - C07 DETAILS (NOT INCLUDED IN SET)
  - C08 STORM WATER CALCULATIONS
  - A1 FLOOR PLAN
  - A2 ELEVATIONS (EAST AND WEST)
  - A3 ELEVATIONS (NORTH AND SOUTH)
  - E1 SITE PHOTOMETRIC PLAN
  - E2 SITE LIGHTING DETAILS

**Zfe**  
ZIEMNICK FOSTER  
ENGINEERING, LLC  
426 S. Clinton Street  
Grand Ledge, MI 48837  
Tel: 517.627.8068  
www.zfengineering.com

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**PROJECT SITE**

Project Manager: MGA  
Reviewed By: TZF  
Engineer: JWF  
Drafter: JWF  
Drawing Scale: 1" = 40'

Issue Date:	Issued for:
02/05/2021	Site Plan Review
02/01/2021	Owner Review

Project Name  
**New Office and Service Bay**  
Delta Twp., Eaton Co., MI

**JJ Freight**

Drawing Title  
**Ex. Conditions Plan**

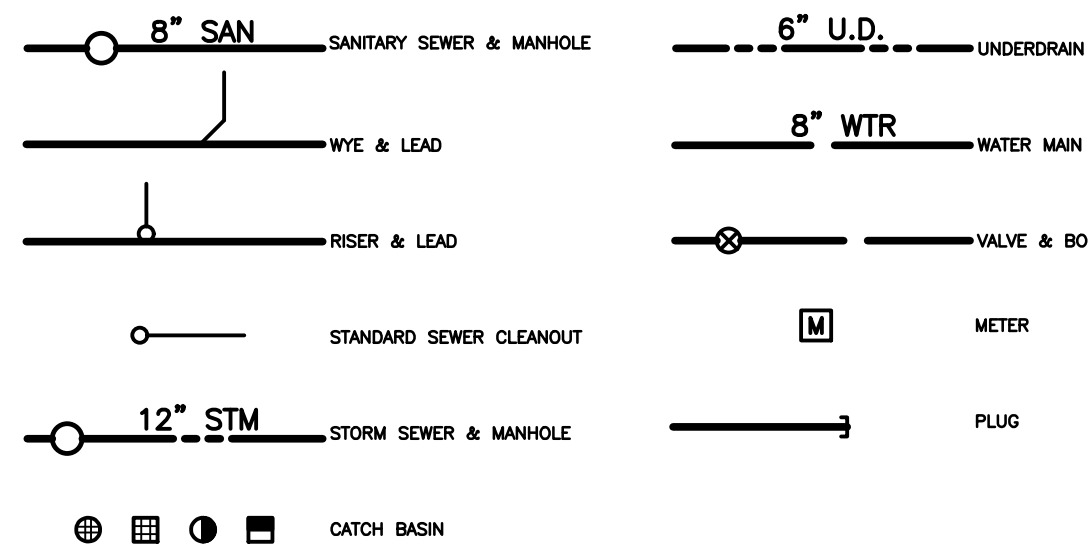
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**C01**

ZFE Project Number  
**20059**

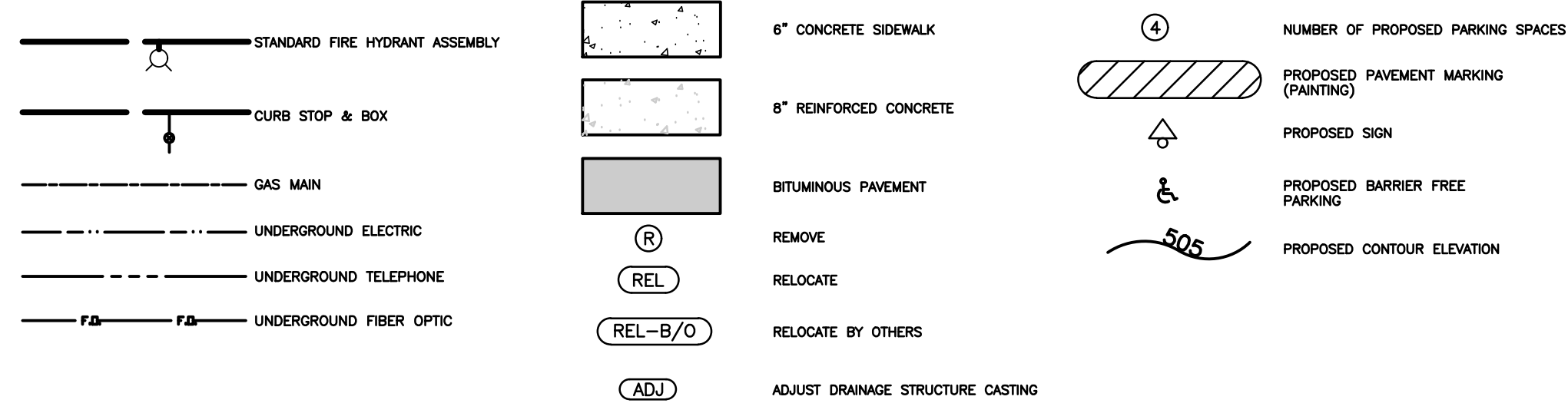


**CIVIL SYMBOL LEGEND**

**PROPOSED UTILITIES**



**PROPOSED TOPOGRAPHY FEATURES**



PIPE CONTENTS	ABBREVIATIONS
GAS	NATURAL GAS
SAN	SANITARY SEWER
STM	STORM SEWER
WTR	WATER
FM	FORCE MAIN

PIPE MATERIAL	ABBREVIATIONS
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CSPA	CORRUGATED STEEL PIPE ARCH
DIP	DUCTILE IRON PIPE
NRCP	NON-REINFORCED CONCRETE PIPE
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PVC	POLYVINYL CHLORIDE
RPC	REINFORCED CONCRETE PIPE
VCP	VITRIFIED CLAY PIPE

**811**  
Know what's below.  
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BM NO.: 228 ELEVATION: 876.81  
TOP OF FLANGE BOLT UNDER THE "E" IN EJWI HYDRANT

BM NO.: 308 ELEVATION: 877.87  
TOP OF FLANGE BOLT UNDER THE "E" IN EJWI HYDRANT

BM NO.: 607 ELEVATION: 872.01  
SOUTH CORNER OF CONCRETE GENERATOR PAD ADJACENT TO R.R.

SCALE: 1" = 40'

**SITE PLAN REVIEW REQUIREMENTS**

**PETITIONER**  
DAYLIN SANCHEZ  
JJ FREIGHT  
5328 W. MT HOPE HIGHWAY  
LANSING, MI 48917

TELEPHONE: 517-574-3344  
EMAIL: daylin.sanchez@jjfreightllc.com

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**PROPERTY SIZE (PARCEL #015-005-033-21)**  
OVERALL SIZE: 4.79 ACRES M/L (208,957 SF)

**ZONING (AFTER REZONING)**  
SUBJECT PARCEL: I, INDUSTRIAL  
WEST: I, INDUSTRIAL DISTRICT  
EAST: I, INDUSTRIAL DISTRICT  
SOUTH: I, INDUSTRIAL DISTRICT  
NORTH: I, INDUSTRIAL DISTRICT

MINIMUM LOT AREA: 1 ACRE; 43,460 SQUARE FEET  
MINIMUM LOT WIDTH & FRONTAGE: 150 FEET WIDTH  
MAXIMUM LOT COVERAGE: 50%

MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 75 FEET  
SIDE: 25 FEET  
REAR: 30 FEET

MAXIMUM BUILDING HEIGHT: NO LIMIT

**PARKING SPACE REQUIREMENTS**  
PARKING STALL:  
162 SQUARE FEET, MIN. (18' L BY 9' W)

OFFICE: ONE (1) SPACE FOR EACH 300 SQUARE FEET OF USEABLE FLOOR AREA  
REQUIRED: 1,530 SQUARE FEET UFA / 300 = 6 SPACES

CONFERENCE CENTER: ONE (1) SPACE FOR EVERY FOUR (4) PERSONS ALLOWED WITHIN THE MAXIMUM OCCUPANCY LOAD DETERMINED BY THE UNIFORM BUILDING CODE.  
REQUIRED: 52 OCCUPANTS PER UBC / 4 = 13 SPACES

TRUCK TERMINAL: ONE (1) SPACE FOR EACH TWO (2) EMPLOYEES.  
REQUIRED: 4 EMPLOYEES / 2 = 2 SPACES

REQUIRED PARKING SPACES: 21 REQUIRED SPACES  
PROVIDED PARKING SPACES: 23 TOTAL, 1 WHICH IS BARRIER FREE

**SIGNS**  
PROPOSED GROUND MOUNT MONUMENT SIGN IN ACCORDANCE WITH ARTICLE V - SIGN REGULATIONS ORDINANCE.

**NOISE**  
DAY 7 am-10pm (MAX. 70 db(A)) NIGHT 10 pm-7 am (MAX. 60 db(A))

**PROPOSED BUILDINGS**  
OFFICE = 1,530 SQUARE FEET UFA  
CONFERENCE ROOM = 775 SQUARE FEET UFA  
SERVICE BAY = 2,540 SQUARE FEET UFA

TOTAL = 6,276 SQUARE FEET

**SITE COVERAGES**  
LOT COVERAGE = 6,276 / 208,957 = 3.0%  
IMPERVIOUS SURFACE = 6,276 BLDG. + 124,786 PARKING + 1,892 WALK + 384 REFUSE = 133,338 SQUARE FEET  
IMPERVIOUS COVERAGE = 133,338 / 208,957 = 63.8%

**UTILITIES**  
ELECTRICAL POWER BY LANSING BOARD OF WATER AND LIGHT

**FENCE**  
6' CHAIN LINK FENCES ALONG THE PROPERTY LINES ARE BEING PROPOSED.

**SOILS**  
NO SOIL BORINGS HAVE BEEN PROVIDED BY THE OWNER NOR PROPOSED.

PREDOMINATE SOIL TYPES FROM USDA SOIL MAP ARE AS FOLLOWS:  
CvraB - CONOVER LOAM, 0-4% SLOPES  
Pr - PARKHILL LOAM, 0-2% SLOPES

**HOURS OF OPERATION**  
8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY

**EMPLOYEES**  
6 EMPLOYEES IN NORMAL SHIFT  
8 EMPLOYEES IN MAXIMUM SHIFT

**LANDSCAPING**  
BUFFER ZONE: NOT REQUIRED WHEN DISTRICT I IS ADJACENT TO DISTRICT I.

**PARKING LOT:**  
1 TREE & 200 SQUARE FEET OF LANDSCAPING FOR EVERY 6 PARKING SPACES REQUIRED.  
REQUIRED: 21 SPACES / 6 = 4 TREES 4 \* 200 = 800 SQUARE FEET OF LANDSCAPING

**GREENBELT:**  
10 FEET WIDTH REQUIRED ALONG ENTIRE FRONTAGE OF PROPERTY.  
1 TREE PER 40 FEET OF FRONTAGE & 1 SHRUB PER 10 FEET OF FRONTAGE  
REQUIRED: 505 FEET / 40 = 13 TREES 505 FEET / 10 = 51 SHRUBS

**SITE LANDSCAPING:** NOT REQUIRED IN DISTRICT I.

**TRASH RECEPTACLES**  
ONE EXTERIOR TRASH RECEPTACLE IS BEING PROPOSED.

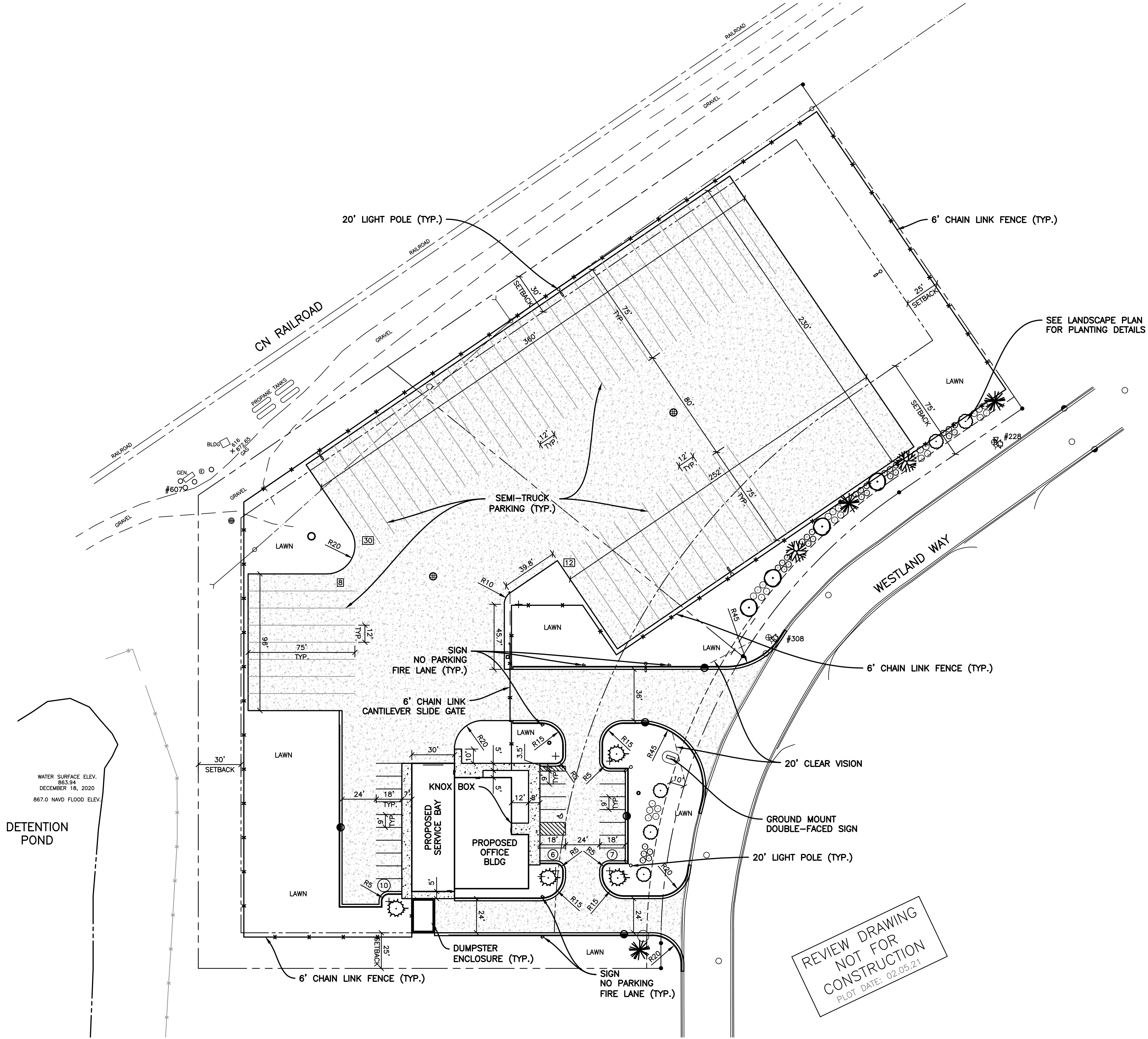
**EXTERIOR LIGHTING**  
IN ACCORDANCE WITH DELTA TOWNSHIP ZONING ORDINANCE SECTION 12.05 - LIGHTING.

**FLOODWAY**  
THIS SITE IS LABELED ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FEMA TILE 26045C0209E & 26045C0217E EFFECTIVE DATE NOVEMBER 26, 2010.

**RESTORATION**  
ALL DISTURBED AREAS WILL BE RESTORED TO A NATURAL TURF. SLOPED AREAS TO RECEIVE MULCH BLANKET.

**FIRE LANE**  
FIRE LANE - NO PARKING SIGNS TO BE INCLUDED ALONG SERVICE DRIVE.

**UTILITIES**  
DISCLAIMER: THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISHED VIA MISS DIG TICKET A003580280-00A PRIOR TO THE DATE OF ISSUANCE OF THIS SHEET.



REVIEW DRAWING  
NOT FOR  
CONSTRUCTION  
PLOT DATE: 02.05.21

**Zfe**  
ZIEMNICK FOSTER  
ENGINEERING, LLC  
426 S. Clinton Street  
Grand Ledge, MI 48837  
Tel: 517.627.8068  
www.zfengineering.com

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Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for other sizes.

Location Map

**PROJECT SITE**

Project Manager: MGA  
Reviewed By: TZF  
Engineer: JWF  
Drafter: JWF  
Drawing Scale: 1" = 40'

Issue Date: \_\_\_\_\_ Issued for: \_\_\_\_\_

02/05/2021 Site Plan Review  
02/01/2021 Owner Review

Project Name  
**New Office and Service Bay**  
Delta Twp., Eaton Co., MI

**JJ Freight**

Drawing Title  
**Layout Plan**

Drawing Number  
**C03**

ZFE Project Number  
**20059**



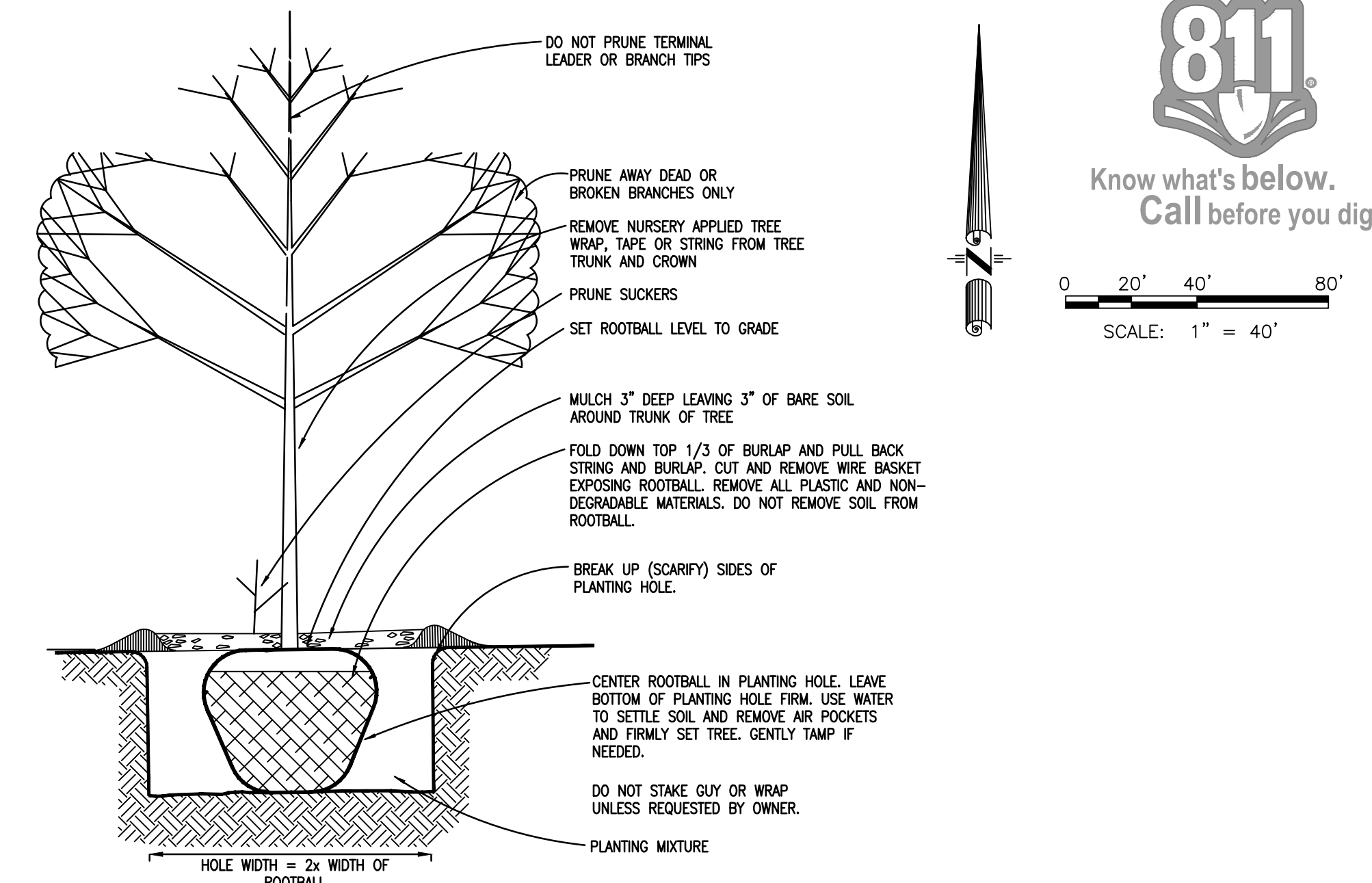




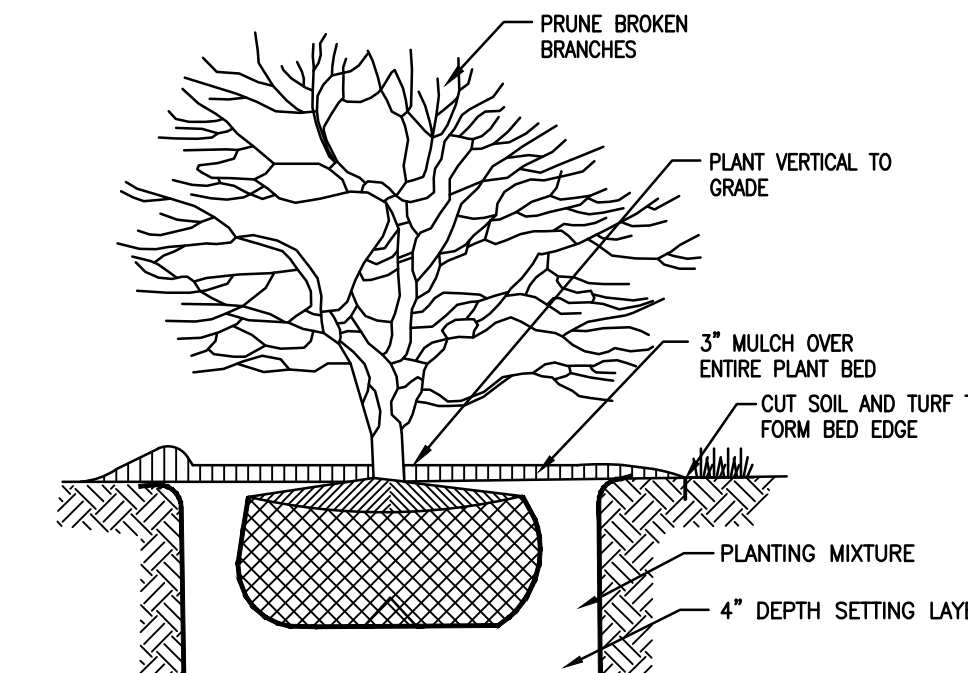
LANDSCAPE REQUIREMENTS — PROPOSED CALCULATIONS			
ZONING REQUIREMENT	QUANTITY	REQUIRED QUANTITY	PROVIDED QUANTITY
PARKING LOT LANDSCAPING REQUIREMENTS			
1 DECIDUOUS TREE PER 6 SPACES	21 SPACES	4 TREES	4 PROVIDED
GREENBELT LANDSCAPING REQUIREMENTS			
1 TREE PER 40 LF OF ABUTTING ROW			
WESTLAND WAY	505 FEET ALONG ROW	13 TREES	14 PROVIDED
1 SHRUB PER 10 LF OF ABUTTING ROW			
WESTLAND WAY	505 FEET ALONG ROW	51 SHRUBS	55 PROVIDED
SEE PLAN VIEW FOR DETAILED PLANT QUANTITY AND SIZE INFORMATION			

JJ Freight Expansion Project - Plant List						
Quantity	SYM	Botanical Name	Common Name	Size	Root	Spacing
<b>Deciduous Trees</b>						
5	NM	Acer platanoides 'Crimson King'	Norway Maple	2" Cal.	B&B	As Shown
4	SM	Acer saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	2" Cal.	B&B	As Shown
4	PO	Quercus palustris	Pin Oak	2" Cal.	B&B	As Shown
<b>Evergreen Trees</b>						
2	SS	Picea omorika	Siberian Spruce	6-7' Tall	B&B	As Shown
3	CS	Picea pungens	Colorado Spruce	6-7' Tall	B&B	As Shown
<b>Shrubs</b>						
25	JV	Juniperus chinensis var. sargentii 'Viridis'	Green Sargent Juniper	3 gal.	Cont.	As Shown
30	SB	Spirea media 'Double Play Blue Kazoo'	Double Play Blue Kazoo Spirea	3 gal.	Cont.	As Shown

\*PT\* DENOTES PARKING LOT TREE



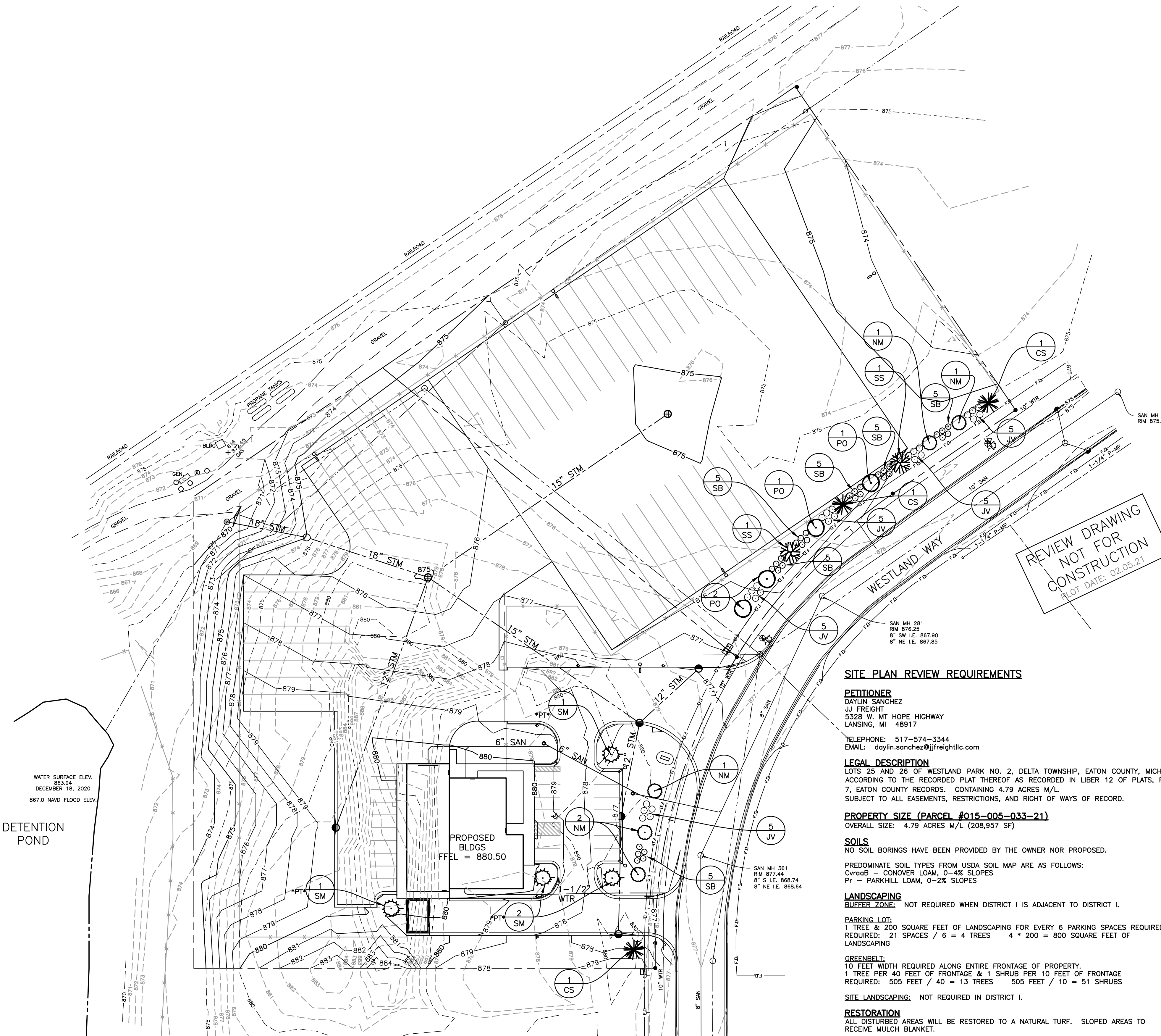
TREE PLANTING DETAIL  
NO SCALE



SHRUB PLANTING DETAIL  
NO SCALE

**LANDSCAPE NOTES**

- ALL PLANTS TO BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- CONTRACTOR SHALL PROVIDE A PLANTING MIXTURE MEETING THE FOLLOWING REQUIREMENTS: IF THE OWNER OR ENGINEER HAS ANY CONCERNS WITH THE QUALITY OF THE PLANTING MIXTURE, THE OWNER OR ENGINEER SHALL BE ALLOWED TWO (2) WEEKS TO OBTAIN SOIL TESTS TO DETERMINE SPECIFICATION COMPLIANCE. NO PLANT MATERIAL SHALL BE PLANTED PRIOR TO THE OWNER OR ENGINEER APPROVAL OF PLANTING MIXTURE. ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IN A VIGOROUS GROWING CONDITIONS DURING THIS TIME AT NO ADDITIONAL COST.
- SPACING OF PLANT MATERIALS SHALL BE AS SHOWN ON DRAWING ON ON PLANT LIST, THE OWNER OR ENGINEER SHALL REVIEW THE PLACEMENT OF PLANT MATERIAL PRIOR TO AND AFTER INSTALLATION AND RESERVES THE RIGHT TO ADJUST LAYOUT TO ACCOMMODATE SITE CONDITIONS AND DESIGN INTENT.
- ALL PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES, SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER, ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.A.N. STANDARDS FOR NURSERY STOCK."
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND REVIEWED BY THE OWNER OR ENGINEER.
- FINAL PLANT LOCATIONS SHALL BE MARKED BY THE CONTRACTOR THREE (3) WORKING DAYS PRIOR TO PLANTING FOR OWNER OR ENGINEER REVIEW.
- ALL PLANTED PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- PLANT MATERIAL, ESPECIALLY EVERGREENS, TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
- IF FOR ANY REASON ANY BALLED AND BURLAPED PLANT MATERIALS NEED TO BE STORED ON SITE LONGER THAN A 23-HOUR PERIOD, THEIR ROOT BALLS SHALL BE PROTECTED. ALL PLANTS SHALL BE THOROUGHLY WATERED EACH DAY THEY ARE STORED ON SITE. PLANTS MAY BE STORED ON SITE FOR A MAXIMUM OF TWO (2) WEEKS OR 14 DAYS. ANY PLANTS ALLOWED TO DRY OUT AS DETERMINED BY THE OWNER OR ENGINEER WILL BE REJECTED.
- NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIALS MADE OF SYNTHETIC OR PLASTICS SHALL BE COMPLETELY REMOVED AT TIME OF PLANTING.
- THE CONTRACTOR SHALL FILL PLANT PIT WITH PREPARED PLANT MIX TO 1/2 DEPTH OF ROOT BALL OR ROOT MASS, PACK FIRMLY, PUDDLE WITH WATER, THEN FOR BALLED AND BURLAPED MATERIAL, THE BURLAP AND ALL LACING (INCLUDING WIRE BASKET IF NECESSARY) SHALL BE REMOVED FROM THE UPPER 1/2 OF ROOT BALL, THEN FINISH BACKFILLING, ADDING SOLID FERTILIZER TO THE PLANT MIX, PACK FIRMLY AND WATER. A SAUCER SHALL BE PLACED AROUND EVERY PLANT AND SHALL BE APPROVED PRIOR TO PLACEMENT OF ANY MULCH.
- ALL DISTURBED LAWN AREAS SHALL BE RESTORED WITH 4-INCHES OF TOPSOIL, SPREAD, FINE GRADED, AND SEEDED AS SPECIFIED. PRIOR TO INSTALLATION OF TOPSOIL, LOOSEN SUBGRADE TO DEPTH OF 2-INCHES. THIS WORK SHALL BE INCIDENTAL TO THE PROJECT.
- TOPSOIL SHALL CONSIST OF FRABLE, SHREDDED, AND SCREENED SOIL. REASONABLY FREE OF GRASS, ROOTS, WEEDS, STICKS, STONES OR OTHER FOREIGN MATERIALS. THE TOPSOIL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. SOIL COMPOSITION SHOULD CONTAIN AN ORGANIC CONTENT OF 2 TO 6 PERCENT AND BE CLASSIFIED AS A LOAM OR SANDY LOAM AS SPECIFIED IN THE "GUIDE FOR U.S.D.A. SOIL TEXTURAL CLASSIFICATION".
- ALL TREES AND SHRUBS ARE TO BE FERTILIZED ONCE ROOTS SYSTEM IS ESTABLISHED WITH AGRIFORM 21-GRAM FERTILIZER TABLETS AT RATES RECOMMENDED BY THE MANUFACTURER.
- TREES SHALL ONLY BE STAKED UPON THE APPROVED OF THE LANDSCAPE ARCHITECT OR ENGINEER. IF APPROVED, THE STAKING SHALL BE ADJUSTED AND REPAIRED AS NECESSARY AND REMOVED AT THE END OF THE ESTABLISHMENT PERIOD.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED. ALL GUYS AND STAKES MUST BE LOCATED WITHIN EACH TREES MULCHED AREA TO ELIMINATE THE POSSIBILITY OF MOWER CONTACT AND TO REDUCE MAINTENANCE.
- AT PLANTING TIME, ALL DEAD AND BROKEN BRANCHES SHALL BE PRUNED ON ALL DECIDUOUS TREES.
- CONTRACTOR SHALL APPLY APPROVED PRE-EMERGENT HERBICIDE, "PREEN" OR EQUAL, TO SHRUB AND GROUND COVER PLANTING AREAS AT THE TIME OF PLANTING (IF SPRING PLANTED) OR THE FOLLOWING SPRING. CONTRACTOR SHALL ENSURE THE PLANT MATERIALS ARE RESISTANT TO THE HERBICIDES PROPERTIES. HERBICIDE SHALL BE APPLIED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH SOUTH HORTICULTURAL PRACTICES.
- ALL EVERGREEN PLANTS SHALL BE SPRAYED ACCORDING TO MANUFACTURERS INSTRUCTIONS WITH AN ANTI-DESICCANT THE FIRST WINTER. THE OWNER OR ENGINEER SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO THIS WORK.
- ALL TREES, SHRUBS AND PERENNIAL GROUND COVER SHALL RECEIVE A MINIMUM DEPTH OF FOUR (4) INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH. WHERE PLANT BEDS MEET PAVEMENTS, LAWN OR STEEL EDGING, CUT THE GRADE TO ALLOW FOR MULCH AND 4-INCH DROP FROM ADJOINING FINISH GRADE.
- ALL PLANT BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8-INCHES AND BACKFILLED WITH SPECIFIED PLANT MIX AS PER PLANTING BED DETAILS. BEDS SHALL BE EDGED WITH METAL EDGING AROUND PERIMETER UNLESS EDGE IS A HARD SURFACE SUCH AS CONCRETE OR ASPHALT. ALL EDGING SHALL BE 4-INCHES WIDE - 12 GAUGE STEEL, COLOR BLACK. CONTRACTOR SHALL LAYOUT EDGING FOR APPROVAL AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- SNOW SHALL NOT BE PUSHED ONTO INTERIOR LANDSCAPE ISLANDS UNLESS DESIGNATED FOR SNOW STORAGE.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) FULL YEAR FOLLOWING PLANTING. ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL BE REPLACED BY THE END OF THE FOLLOWING GROWING CYCLE.
- APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHOROUS.



**SITE PLAN REVIEW REQUIREMENTS**

**PETITIONER**  
DAYLIN SANCHEZ  
JJ FREIGHT  
5328 W. MT HOPE HIGHWAY  
LANSING, MI 48917  
TELEPHONE: 517-574-3344  
EMAIL: daylin.sanchez@jjfreightllc.com

**LEGAL DESCRIPTION**  
LOTS 25 AND 26 OF WESTLAND PARK NO. 2, DELTA TOWNSHIP, EATON COUNTY, MICHIGAN ACCORDING TO THE RECORDED PLAT THEREOF AS RECORDED IN LIBER 12 OF PLATS, PAGE 7, EATON COUNTY RECORDS. CONTAINING 4.79 ACRES M/L. SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHT OF WAYS OF RECORD.

**PROPERTY SIZE (PARCEL #015-005-033-21)**  
OVERALL SIZE: 4.79 ACRES M/L (208,957 SF)

**SOILS**  
NO SOIL BORINGS HAVE BEEN PROVIDED BY THE OWNER NOR PROPOSED.

PREDOMINATE SOIL TYPES FROM USDA SOIL MAP ARE AS FOLLOWS:  
OxyoB = CONOVER LOAM, 0-4% SLOPES  
Pr = PARKHILL LOAM, 0-2% SLOPES

**LANDSCAPING**  
BUFFER ZONE: NOT REQUIRED WHEN DISTRICT I IS ADJACENT TO DISTRICT I.

**PARKING LOT:**  
1 TREE & 200 SQUARE FEET OF LANDSCAPING FOR EVERY 6 PARKING SPACES REQUIRED.  
REQUIRED: 21 SPACES / 6 = 4 TREES 4 \* 200 = 800 SQUARE FEET OF LANDSCAPING

**GREENBELT:**  
10 FEET WIDTH REQUIRED ALONG ENTIRE FRONTAGE OF PROPERTY.  
1 TREE PER 40 FEET OF FRONTAGE & 1 SHRUB PER 10 FEET OF FRONTAGE  
REQUIRED: 505 FEET / 40 = 13 TREES 505 FEET / 10 = 51 SHRUBS

**SITE LANDSCAPING:** NOT REQUIRED IN DISTRICT I.

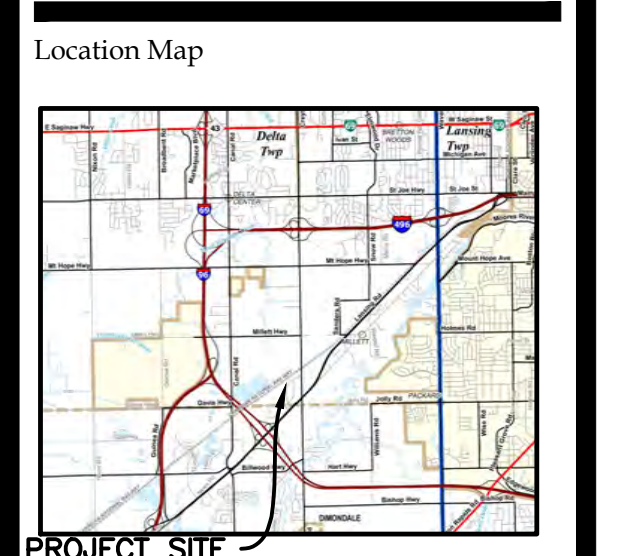
**RESTORATION**  
ALL DISTURBED AREAS WILL BE RESTORED TO A NATURAL TURF. SLOPED AREAS TO RECEIVE MULCH BLANKET.

WATER SURFACE ELEV.  
863.94  
DECEMBER 16, 2020  
867.0 NAVD FLOOD ELEV.

DETENTION  
POND

**Zfe**  
ZIEMNICK FOSTER  
ENGINEERING, LLC  
426 S. Clinton Street  
Grand Ledge, MI 48837  
Tel: 517.627.8068  
www.zfengineering.com

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**PROJECT SITE**  
Project Manager: MGA  
Reviewed By: TZF  
Engineer: JWF  
Drafter: JWF  
Drawing Scale: 1" = 40'

Issue Date:	Issued for:
02/05/2021	Site Plan Review
02/01/2021	Owner Review

Project Name  
**New Office and Service Bay**  
Delta Twp., Eaton Co., MI

**JJ Freight**

Drawing Title  
**Landscape Plan**

Drawing Number  
**C05**

ZFE Project Number  
**20059**







PROJECT: JJ Freight  
 JOB NUMBER: 20059  
 DATE: 2/1/2021

LOCATION: Eaton  
 COUNTY (MI): Delta  
 TOWNSHIP: Delta



Know what's below.  
 Call before you dig.

**Zfe**  
 ZIEMNICK FOSTER  
 ENGINEERING, LLC  
 426 S. Clinton Street  
 Grand Ledge, MI 48837  
 Tel: 517.627.8068  
 www.zfeengineering.com

LOCATION		AREA								CA		TIME						INTENSITY						DISCHARGE						PROFILE				DESIGN				10 YEAR HGL		HGL											
UPSTREAM	DOWNSTREAM	GRASS	PAVEMENT	CONCRETE	ROOF	WATER	OFFSITE	AGGREGATE	INCR.	TOTAL	WEIGHTED C	INCR. C'A	CUM. C'A	TO INLET	IN PIPE	TOTAL	2 YEAR	5 YEAR	10 YEAR	25 YEAR	50 YEAR	100 YEAR	2 YEAR	5 YEAR	10 YEAR	25 YEAR	50 YEAR	100 YEAR	PIPE LENGTH	"Upstream" INVERT OUT	"Downstream" INVERT IN	"Upstream" RIM	"Upstream" Depth	COMPUTED DIAMETER	PIPE DIAMETER	PIPE DIAMETER	PIPE DIAMETER	n VALUE	SLOPE	SLOPE	V <sub>FULL</sub>	PIPE CAPACITY	SLOPE	HEADLOSS IN PIPE	"Upstream" HGL ELEV.	Dist. Between Water Level and Rim					
		acres	acres	acres	acres	acres	acres	acres	acres	acres	C <sub>avg</sub>	C'A		T <sub>i</sub>	T <sub>p</sub>	T <sub>10</sub> T <sub>5</sub> T <sub>2</sub>	I <sub>2</sub>	I <sub>5</sub>	I <sub>10</sub>	I <sub>25</sub>	I <sub>50</sub>	I <sub>100</sub>	Q <sub>2</sub> =C <sub>1</sub> *I <sub>2</sub> *A	Q <sub>5</sub> =C <sub>1</sub> *I <sub>5</sub> *A	Q <sub>10</sub> =C <sub>1</sub> *I <sub>10</sub> *A	Q <sub>25</sub> =C <sub>1</sub> *I <sub>25</sub> *A	Q <sub>50</sub> =C <sub>1</sub> *I <sub>50</sub> *A	Q <sub>100</sub> =C <sub>1</sub> *I <sub>100</sub> *A	L	ft	ft	ft	ft	ft	in	in	in	in	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft
CB-6	CB-5	0.09	0.12							0.21	0.21	0.61	0.13	0.13	20	0.00	20.00	2.33	2.87	3.88	3.94	4.47	5.01	0.30	0.36	0.49	0.50	0.57	0.64	83	873.38	872.96	876.88	2.50	6.50	12	1.00	0.013	0.0051	0.51%	3.23	2.53	0.0002	0.0159	874.38	2.50					
CB-5	CB-4	0.09	0.14		0.08					0.30	0.51	0.72	0.22	0.35	0	0.43	20.43	2.31	2.84	3.88	3.90	4.43	4.97	0.80	0.99	1.35	1.35	1.54	1.72	67	872.86	872.52	876.73	2.87	9.46	12	1.00	0.013	0.0051	0.51%	3.23	2.54	0.0014	0.0956	873.86	2.87					
CB-4	CB-1	0.06	0.06							0.12	0.76	0.56	0.07	0.49	0	0.35	20.77	2.29	2.82	3.27	3.87	4.39	4.93	1.12	1.37	1.59	1.88	2.14	2.40	181	872.42	870.61	877.36	3.71	8.87	15	1.25	0.013	0.0100	1.00%	5.26	6.46	0.0006	0.1096	873.67	3.71					
CB-1	MH-1	0.39	0.78							1.17	4.64	0.68	0.80	2.91	0	0.57	21.35	2.26	2.78	3.88	3.82	4.33	4.85	6.59	8.09	11.30	11.12	12.62	14.14	90	869.00	868.32	874.95	4.45	19.50	18	1.50	0.013	0.0076	0.76%	5.17	9.13	0.0116	1.0420	870.86	4.09					
MH-1	CB-500									0.00	4.64		0.00	2.91	0	0.29	21.64	2.25	2.78	3.20	3.79	4.30	4.83	6.55	8.04	9.32	11.05	12.54	14.06	57	868.32	865.64	875.00	5.43	12.88	15	1.25	0.013	0.0470	4.70%	11.41	14.01	0.0208	1.1876	869.57	5.43					
CB-7	CB-4	0.06	0.06							0.12	0.12	0.57	0.07	0.07	20	0.00	20.00	2.33	2.87	3.33	3.94	4.47	5.01	0.16	0.20	0.23	0.27	0.31	0.35	57	873.36	873.07	876.86	2.50	4.89	12	1.00	0.013	0.0051	0.51%	3.24	2.54	0.0000	0.0024	874.36	2.50					
CB-3	CB-1	0.47	0.13		0.06					0.66	0.66	0.39	0.26	0.26	20	0.00	20.00	2.33	2.87	3.33	3.94	4.47	5.01	0.60	0.73	0.85	1.01	1.14	1.28	188	875.46	870.95	878.96	2.50	5.95	12	1.00	0.013	0.0240	2.40%	7.03	5.52	0.0006	0.1071	876.46	2.50					
CB-2	CB-1	0.72	1.33							2.05	2.05	0.67	1.37	1.37	20	0.00	20.00	2.33	2.87	3.33	3.94	4.47	5.01	3.20	3.93	4.56	5.40	6.14	6.88	204	870.80	869.28	874.80	2.75	13.92	15	1.25	0.013	0.0075	0.75%	4.54	5.58	0.0050	1.0177	872.05	2.75					

Site C Value Calculation

PROJECT: JJ Freight  
 JOB NUMBER: 20059  
 DATE: 2/1/2021  
 LOCATION: Eaton  
 COUNTY (MI): Delta  
 TOWNSHIP: Delta

AREA	UNITS	GRASS 0.15	PAVEMENT 0.95	CONCRETE 0.90	ROOF 0.95	WATER 1.00	OFFSITE 0.50	AGGREGATE 0.65	TOTAL AREA	CUMULATIVE AREA	WEIGHTED C
CB-6	sf	83.899	116.022	0	6.276	0	0	0	206.197	206.197	0.62
CB-5	acres	1.93	2.66	0.00	0.14	0.00	0.00	0.00	4.73	4.73	0.00
CB-4	sf								0	0	0.00
CB-1	sf								0	0	0.00
MH-1	sf								0	0	0.00
CB-7	sf								0	0	0.00
CB-3	sf								0	0	0.00
CB-2	sf								0	0	0.00
SITE TOTAL	sf	83.899	116.022	0	6.276	0	0	0	206.197	206.197	0.62
	acres	1.93	2.66	0.00	0.14	0.00	0.00	0.00	4.73	4.73	0.00

WEIGHTED SITE C VALUE = 0.62

Estimated Net Annual Solids Load Reduction Based on the Rational Rainfall Method

JJ Freight  
 Delta Township, MI  
 Water Quality Unit

CASCADE separator™

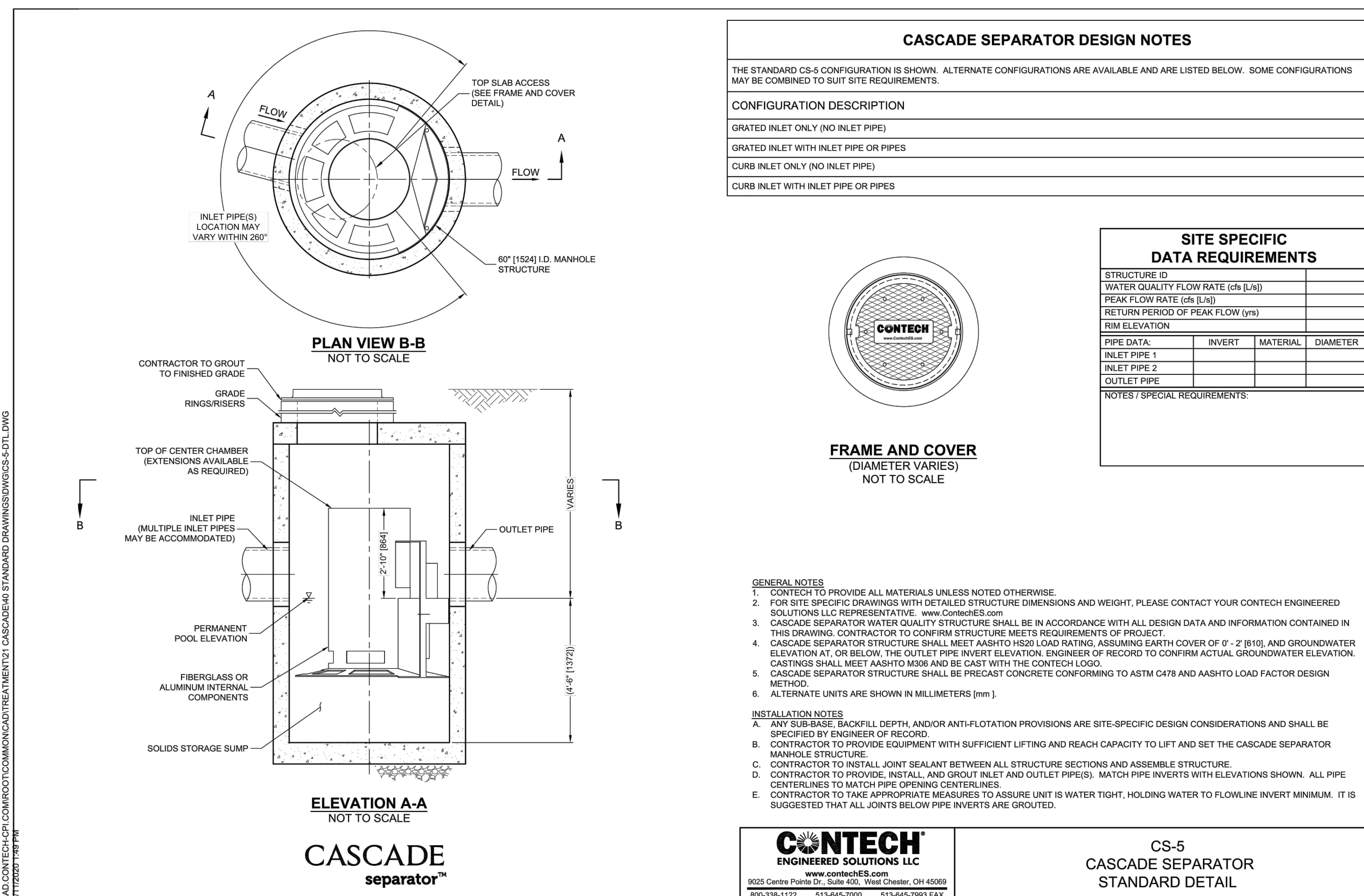
AREA (acres): 4.75  
 WEIGHTED C: 0.62  
 Tc (minutes): 20.0

CASCADE MODEL: CS-5  
 PARTICLE SIZE (µm): 110  
 RAINFALL STATION: 76

Rainfall Intensity <sup>1</sup> (in/hr)	Percent Rainfall Volume <sup>1</sup>	Cumulative Rainfall Volume	% Rainfall Volume Treated	Total Flowrate (cfs)	Removal Efficiency (%)	Incremental Removal (%)
0.02	13.47%	13.5%	13.5%	0.06	100.0	13.5
0.04	10.31%	23.8%	10.3%	0.12	100.0	10.3
0.06	9.95%	33.7%	10.0%	0.18	100.0	10.0
0.08	7.60%	41.3%	7.6%	0.24	100.0	7.6
0.10	7.25%	48.6%	7.3%	0.29	100.0	7.3
0.12	4.40%	53.0%	4.4%	0.35	100.0	4.4
0.14	4.37%	57.4%	4.4%	0.41	100.0	4.4
0.16	3.91%	61.3%	3.9%	0.47	100.0	3.9
0.18	3.56%	64.8%	3.6%	0.53	100.0	3.6
0.20	2.60%	67.4%	2.6%	0.59	99.2	2.6
0.25	5.09%	72.5%	5.1%	0.74	96.1	4.9
0.30	4.24%	76.8%	4.2%	0.88	92.9	3.9
0.35	3.17%	79.9%	3.2%	1.03	89.8	2.8
0.40	3.54%	83.5%	3.5%	1.18	86.6	3.1
0.45	2.07%	85.6%	2.1%	1.33	83.4	1.7
0.50	2.05%	87.6%	2.0%	1.47	80.3	1.6
0.75	7.87%	95.5%	7.9%	2.21	64.4	5.1
1.00	1.52%	97.0%	1.5%	2.95	48.6	0.7
1.50	2.48%	99.5%	2.0%	4.42	29.1	0.7
2.00	0.53%	100.0%	0.3%	5.89	21.8	0.1
0.00	0.00%	100.0%	0.0%	0.00	NDIV/OI	0.0
						92.7

Removal Efficiency Adjustment<sup>2</sup> = 6.5%  
 Predicted % Annual Rainfall Treated = 92.8%  
 Predicted Net Annual Load Removal Efficiency = 85.7%

1 - Based on 11 years of hourly precipitation data from NDC station 464, Lansing WSO Airport, Clinton County, MI  
 2 - Reduction due to use of 60-minute data for a site that has a time of concentration less than 30-minutes.



INFILTRATION/DETENTION BASIN DESIGN

PROJECT: JJ Freight  
 JOB NUMBER: 20059  
 DATE: 2/1/2021  
 LOCATION: Eaton  
 COUNTY (MI): Delta  
 TOWNSHIP: Delta

Return Period: 100 year

Intensities based on: Bulletin 71

**FIRST FLUSH VOL.**

Contributing Drainage Area (ac) = 4.73  
 Weighted Runoff Coefficient, C = 0.62  
 Release Rate (cfs/ac) = 0.30  
 Infiltration Rate (in/hr) = 0.00  
 Area of Infiltration (ac) = 0.00

First Flush Depth (inch) = 1.00  
 First Flush Vol. (cf) = 17,183  
 Release Rate (cfs) = 1.42  
 Infiltration Rate (cfs) = 0.00

Duration (hr)	Intensity (in/hr)	Runoff (cu.ft.)	Discharge (cu.ft.)	Storage Volume (cu.ft.)	Storage Volume (ac-ft)
0.08	7.44	6,653	426	6,227	0.14
0.17	6.54	11,696	852	10,844	0.25
0.25	5.60	15,023	1,278	13,745	0.32
0.50	3.84	20,603	2,556	18,047	0.41
1.00	2.44	26,183	5,112	21,070	0.48
2.00	1.51	32,407	10,225	22,182	0.51
3.00	1.11	35,733	15,337	20,396	0.47
4.00	0.90	38,476	20,449	18,027	0.41
5.00	0.75	40,468	25,562	14,906	0.34
6.00	0.65	41,850	30,674	11,176	0.26
7.00	0.58	43,471	35,786	7,685	0.18
8.00	0.52	44,663	40,899	3,764	0.09
9.00	0.47	45,714	46,011	-297	-0.01
10.00	0.43	46,655	51,123	-4,469	-0.10
11.00	0.40	47,505	56,236	-8,730	-0.20
12.00	0.38	48,303	61,348	-12,845	-0.29
15.00	0.27	52,473	92,022	-39,549	-0.91
24.00	0.22	55,799	122,696	-66,898	-1.54
48.00	0.12	61,487	245,391	-183,905	-4.22

Check a time between the two highest values:

Duration (hr)	Intensity (in/hr)	Runoff (cu.ft.)	Discharge (cu.ft.)	Storage Volume (cu.ft.)	Storage Volume (ac-ft)
1.50	1.82	29294.71	7668.48	21626	0.50

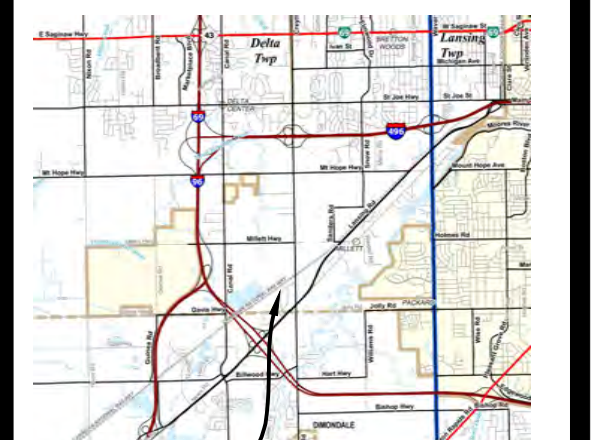
Does agency require a 1.25 multiplier? no

Required Storage Volume (cu. ft.) = 22,182  
 Required Storage Volume (ac-ft) = 0.51

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Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for other sizes.

Location Map



PROJECT SITE

Project Manager: MGA  
 Reviewed By: TZF  
 Engineer: JWF  
 Drafter: JWF  
 Drawing Scale: 1" = 40'

Issue Date: Issued for:

02/05/2021 Site Plan Review  
 02/01/2021 Owner Review

Project Name  
 New Office and  
 Service Bay  
 Delta Twp., Eaton Co., MI

JJ Freight

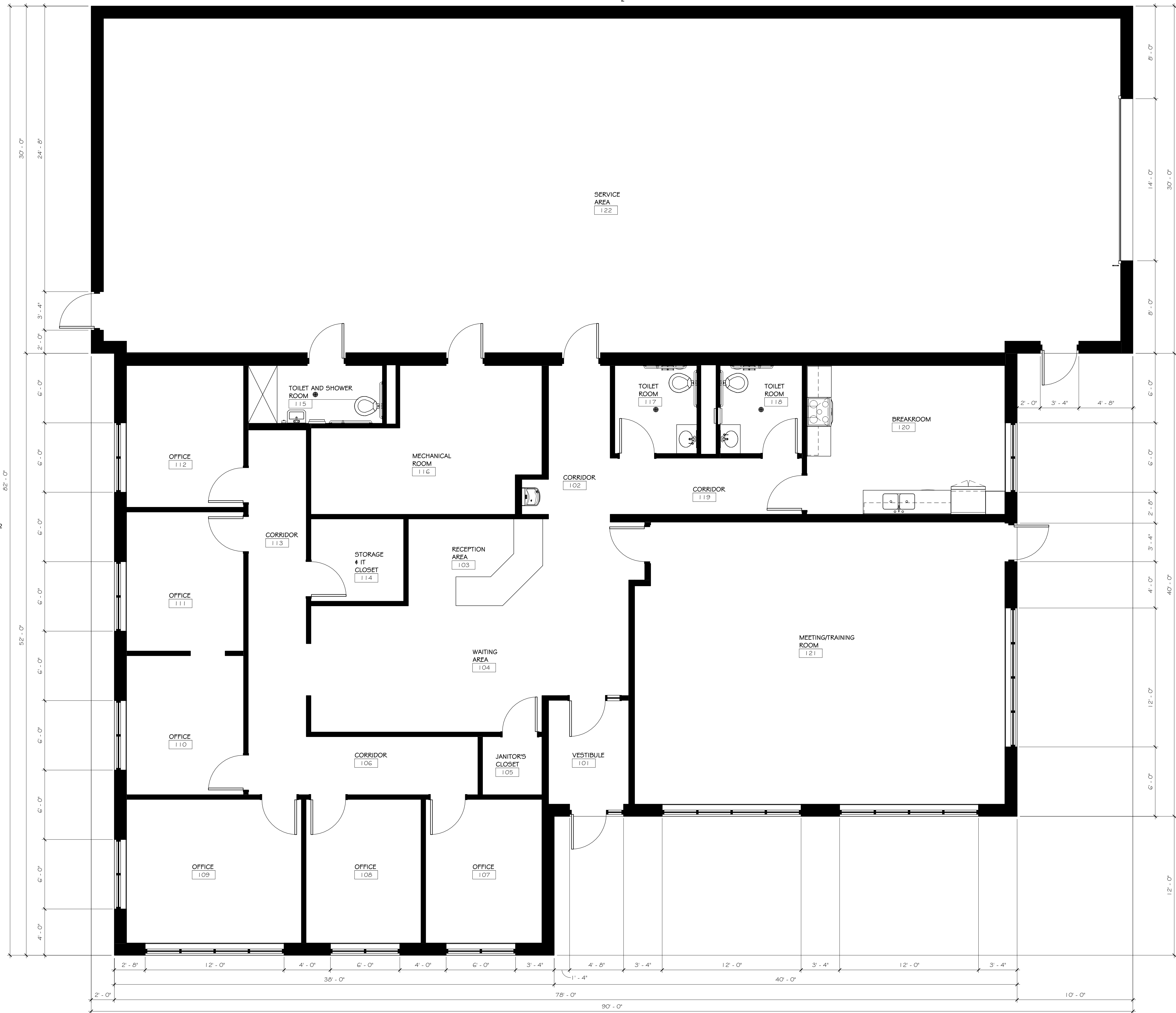
Drawing Title  
 Storm Calcs

Drawing Number  
 C08

ZFE Project Number  
 20059

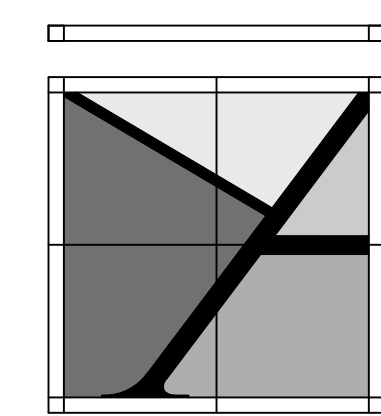


2/4/2021 10:13:24 AM



FLOOR PLAN  
1/4" = 1'-0"

02.05.2021  
 Planning Commission  
 checked by  
 AMG  
 drawn by  
 JMS  
 consultant

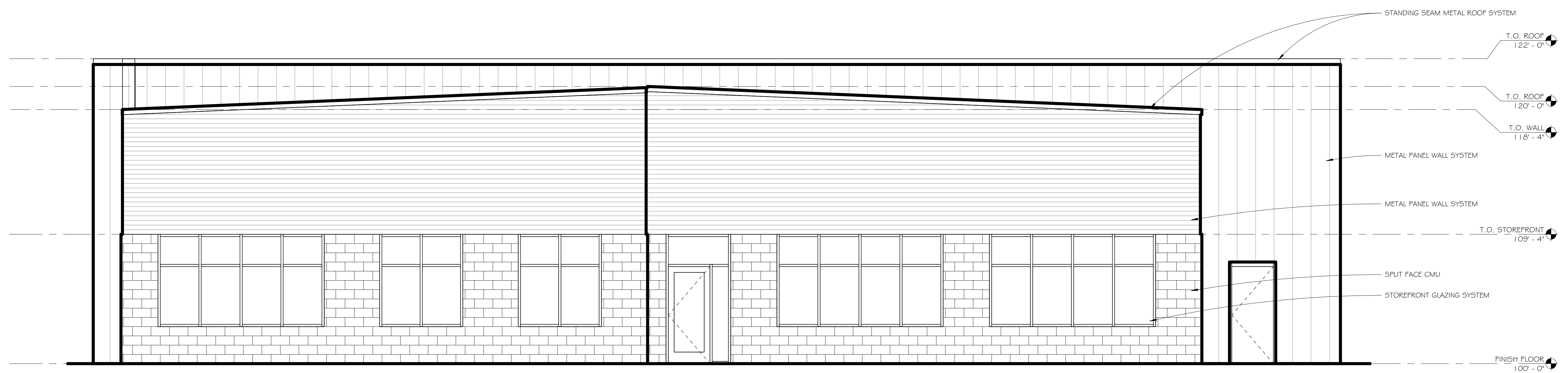


**MAYOTTE group**  
 ARCHITECTS  
 6240 W. Mt. Hope  
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 www.mayottearchitects.com

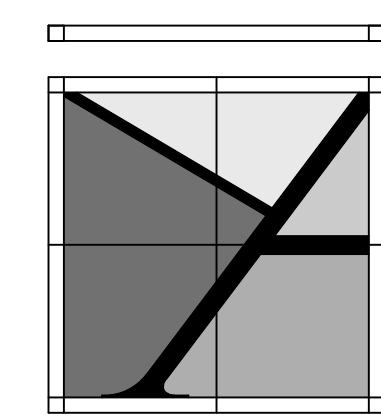
**JJ FREIGHT**  
**NEW OFFICE AND SERVICE BAY**  
 Westland Way Lots #25-26  
 Lansing, Michigan 48917

job no.  
**2020-045**  
 sheet no.  
**A1**

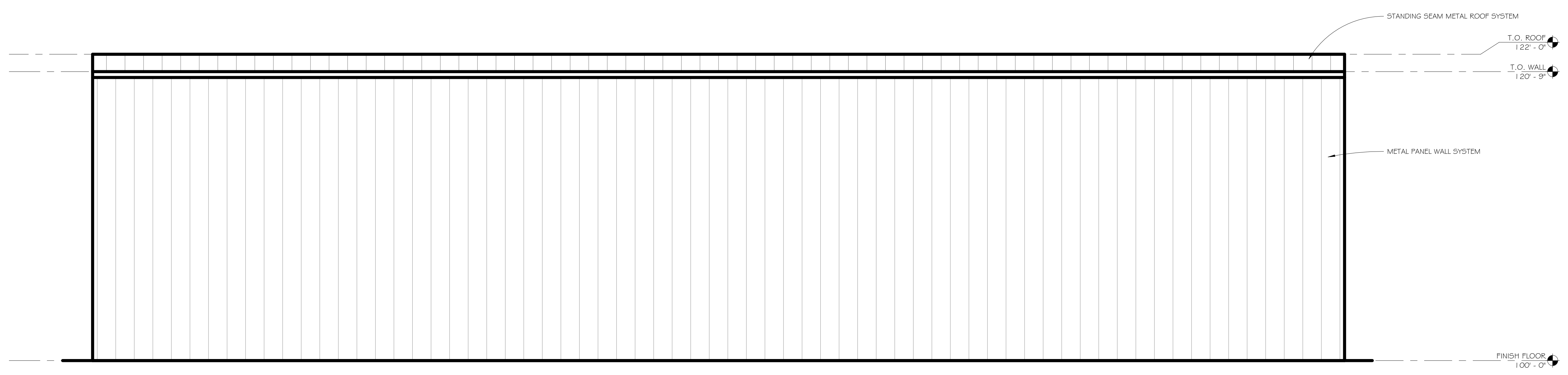
FLOOR PLAN



1 BUILDING ELEVATION - EAST  
 A2 1/4" = 1'-0"

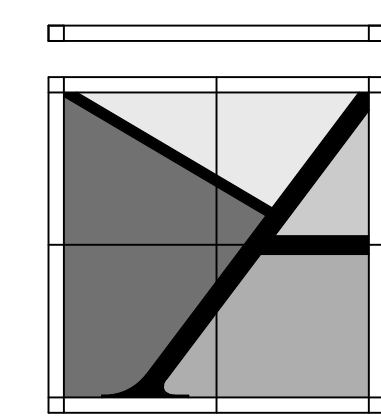


**MAYOTTE group**  
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 6240 W. Mt. Hope  
 Lansing, MI 48917  
 t. 517.323.0577  
 www.mayottearchitects.com



2 BUILDING ELEVATION - WEST  
 A2 1/4" = 1'-0"

EXTERIOR BUILDING ELEVATIONS  
**JJ FREIGHT**  
**NEW OFFICE AND SERVICE BAY**  
 Westland Way Lots #25-26  
 Lansing, Michigan 48917  
 job no.  
 2020-045  
 sheet no.  
**A2**



MAYOTTE group

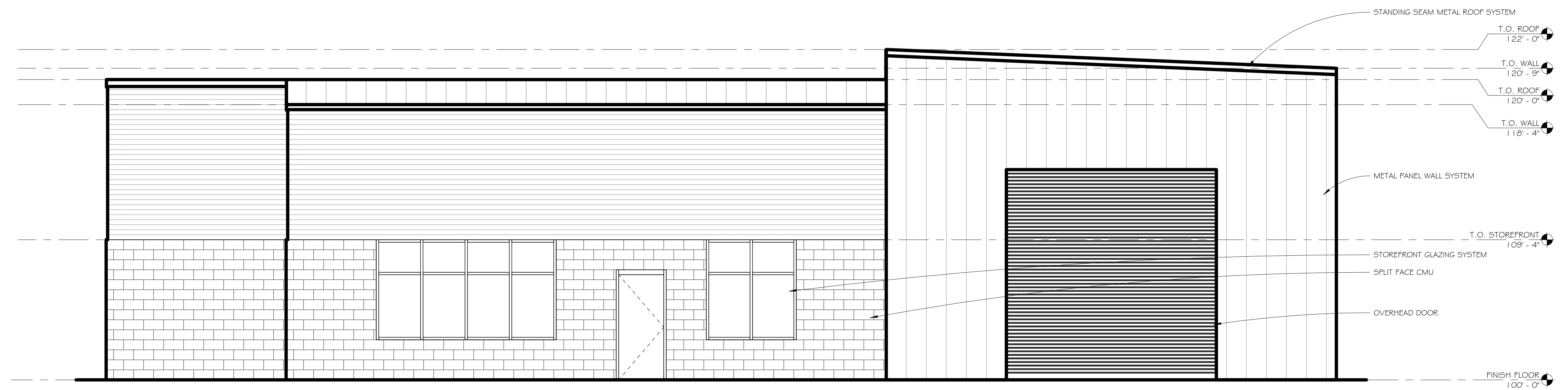
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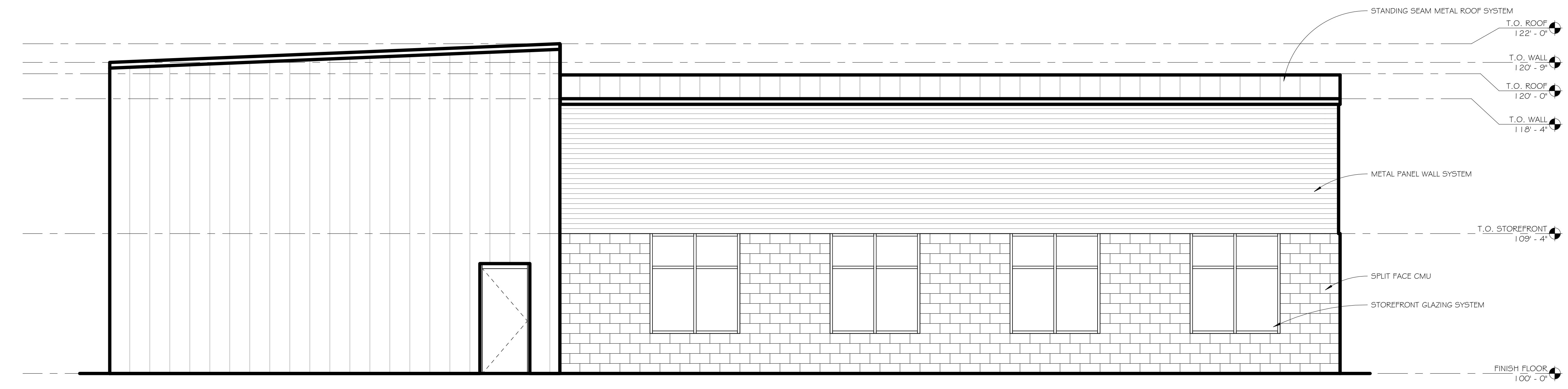
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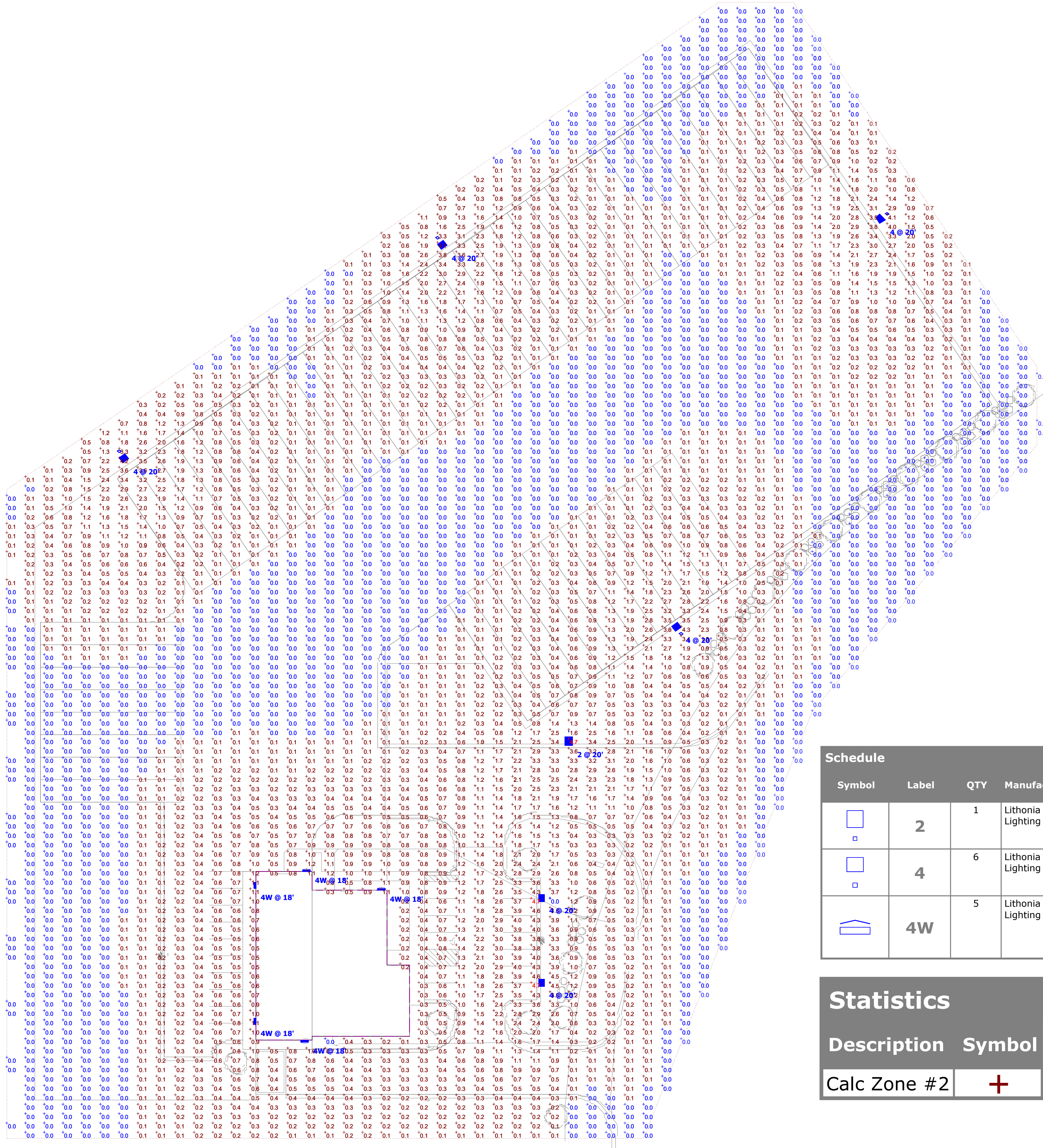
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1 BUILDING ELEVATION - NORTH  
A3 1/4" = 1'-0"



2 BUILDING ELEVATION - SOUTH  
A3 1/4" = 1'-0"



Plan View  
Scale - 1" = 30'

Schedule													
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Notes
	2	1	Lithonia Lighting	DSX1 LED P3 40K T3M MVOLT	DSX1 LED P3 40K T3M MVOLT	LED	1	12214	1	1	102	100%	
	4	6	Lithonia Lighting	DSX1 LED P3 40K T4M MVOLT	DSX1 LED P3 40K T4M MVOLT	LED	1	12308	1	1	102	100%	
	4W	5	Lithonia Lighting	DSXW1 LED 10C 700 40K T4M MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 700mA.	LED	1	2701	1	1	26.2	100%	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2		0.4 fc	4.7 fc	0.0 fc	N/A	N/A

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